



Building Consent

Website: www.waimakariri.govt.nz

Section 35, Building Act 1991

Application

P & L LOOYENGA	No.	040172
C/- BALMORAL HOMES LTD	Issue date	17/03/04
PO BOX 35026	Application date	16/02/04
CHRISTCHURCH		

Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages SINGLE LEVEL DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$219,000
Location	438 NO 10 RD
Legal Description	Lot 8 R035304 DP 328911
Valuation No.	21750266002 C 7.5.04

Builder: BALMORAL HOMES LTD : 3779949
Designer: BALMORA HOMES LTD

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	1,391.00
Building Research Levy	\$	219.00
Building Industry Authority Levy	\$	142.35
Total	\$	1,752.35

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent.

THIS IS A VALUABLE DOCUMENT AND SHOULD BE KEPT IN A SAFE PLACE. YOU MAY WISH TO PRODUCE THIS CONSENT WHEN YOU DECIDE TO SELL THE PROPERTY.

Signed for and on behalf of the Council:

Name:

Date: 17.3.04

1. This consent is issued subject to the attached Building Inspection Works Schedule:
2. Please note that the consent fees allow for a single inspection of construction stages of the project as specified in the inspection schedule. Any extra inspections required will be invoiced before a code compliance certificate is issued.
3. Please note that any deviation from the approved documents is subject to a new Building Consent.
4. Completion inspection required prior to issue of an interim or final Code Compliance Certificate. Please make application for inspection on the appropriate form.
5. Any special conditions of consent endorsed on the Building Consent and/or documents **MUST** be drawn to the attention of the subcontractors.
6. The duplicate copy of the approved consent documents and inspection schedule are to remain on site during construction
7. All electrical work associated with this consent is subject to compliance with the requirements of the Electricity Act 1968.
8. **24 HOURS NOTICE MUST BE GIVEN:** - Prior to pouring ANY concrete - Prior to laying ANY floor - Prior to fixing ANY wall or ceiling lining - On completion of the building Provision must be made to allow the building inspector access.
9. To comply with the endorsements in red on the plan.
10. Ensure sleeves in foundation are set to allow for correct grade of all wastes in or under concrete floors.
11. All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.
12. **HEATING UNIT and FLUE** to be installed in strict accordance with the manufacturers instructions. **UNIT and HEARTH** shall be restrained in accordance with the Building Code, clause B1 and NZS 7421:1990. An **INSPECTION** is required **PRIOR** to lighting the fire.

REFERRAL & COSTING INFORMATION

REFERRAL FORM

Client N°:

TA:

040172

PIM prev. issued N°:

INFORMATION TO COME & COMMENTS	CONSENT TYPE	
	PIM ONLY	
	FAST TRACK - P&D only	
	FAST TRACK - Nil return	
	MINOR WORKS with PIM	
	MAJOR WORKS with PIM	

N° of Inspections

49

PROCESS REQUIRED		Initial & Date When Complete	
	VETTING WITH CLIENT		STANDARD CONDITIONS: 00, 01, 02, 05, 08, 12, 19, 28, 31, 32, 33, 34, 35.
	PRE PROCESSING Site Inspection		PRODUCER STATEMENTS:
	LOG IN / ADMIN. PROCEDURES		
	B1 - PROCESS	NAB 14/3/04	
	PDI - PROCESS		SPECIAL CONDITIONS:
	EHO - PROCESS		
	FIRE REVIEW		
	STRUCTURAL REVIEW		
	LOG FIRE		
	PEER REVIEW/ Other		
	Other		
	VALIDATION		PIM Requirements
			PIM Requirements
	ISSUE		



APPLICATION FOR A BUILDING CONSENT
NON COMMERCIAL PROJECTS

Section 33, Building Act 1991

(Please attach all relevant documents in triplicate)

1. OWNER

Name: P & L Looyenga
Postal Address: c/- Balmoral
Homes Ltd
Phone No:
Fax No:

RECEIVED

2. AGENT (Owner's Representative)

Contact Name: Balmoral Homes Ltd
Postal Address: P O Box 35-026
CHRISTCHURCH
Phone No: 377-9949
Fax No: 377-9948

ACCOUNT TO:

OWNER ☐

AGENT ☒

3. PROJECT LOCATION

Street Address: 438 No. 10 Road, Mandeville, Rangiora

4. LEGAL DESCRIPTION

Valuation Number:

2,750 26600

OFFICE USE ONLY

Property ID:

Lot(s)
(Section)

8

DP/S
(Block)

73102

Lot Area(s)

1.086 A

square metres
hectares

5. PROJECT

5.1

☒ New Building

☐ Alteration

☐ Relocation

☐ Demolition

5.2

Intended Life:

☒ Indefinite but not
less than 50 years

OR specified

as _____ years

5.3 PROJECT (Description of Work)

SINGLE LEVEL DWELLING

5.4 INTENDED USE (Use of Building):

DWELLING

5.5 FLOOR AREA (New Building Work):

234m² m²

5.6 WORK VALUE (GST Inc.) Total Estimated Value: \$

219,000

6. KEY PERSONNEL

(Give names, addresses, telephone numbers. Give relevant registration numbers (if known))

6.1 Builder: BALMORAL HOMES LTD PH-377-9949

6.2 Craftsman Plumber: TBA

6.3 Registered Drainlayer: TBA

6.4 Designer: BALMORAL HOMES LTD

☐ Application for Building Consent only, in accordance with Project Information Memorandum No: _____

☒ Application for Building Consent and Project Information Memorandum - please complete 7. PROJECT DETAILS on page 2

PLEASE NOTE: When specified in the Project Information Memorandum vehicle crossings must be cut/installed before any building operations commence. All vehicles must use that crossing. Any damage to the property's frontage will be repaired by the Council and charged directly to the property owners.

Signed by or for and on behalf of the owner

Signature: _____

Name: _____

Jane Evans
(Please Print)

Date: 13/2/04



DATE STAMP

**APPLICATION FOR A BUILDING CONSENT
NON COMMERCIAL PROJECTS**

Section 33, Building Act 1991

(Please attach all relevant documents in triplicate)

1. OWNERName: P & L Looyenga
Postal Address: 41- Balmoral
Homes Ltd

Phone No: _____

Fax No: _____

2. AGENT (Owner's Representative)Contact Name: Balmoral Homes LtdPostal Address: P.O. Box 35-026
CHRISTCHURCHPhone No: 377-9949Fax No: 377-9948**ACCOUNT TO:**OWNER ☐AGENT ☒**3. PROJECT LOCATION**Street Address: 438 No.10 Road, Mandeville, Rangiora**4. LEGAL DESCRIPTION**Valuation Number: 2,750 26600Property ID: **OFFICE USE ONLY**Lot(s)
(Section)8DP:/S
(Block)73102

Lot Area(s)

1.086 Asquare metres
hectares**5. PROJECT**

5.1

☒ New Building☐ Alteration☐ Relocation☐ Demolition

5.2

Intended Life:

☒ Indefinite but not
less than 50 years

OR specified

as _____ years

5.3 PROJECT (Description of Work) SINGLE LEVEL DWELLING5.4 INTENDED USE (Use of Building) DWELLING5.5 FLOOR AREA (New Building Work): 234m² m²5.6 WORK VALUE (GST Inc.) Total Estimated Value: \$ 219,000**6. KEY PERSONNEL**

(Give names, addresses, telephone numbers. Give relevant registration numbers (if known))

6.1 Builder: BALMORAL HOMES Ltd PH-377-99496.2 Craftsman Plumber TBA6.3 Registered Drainlayer: TBA6.4 Designer: BALMORAL HOMES Ltd☐ Application for Building Consent only, in accordance with Project Information Memorandum No: _____☒ Application for Building Consent and Project Information Memorandum - please complete 7. PROJECT DETAILS on page 2PLEASE NOTE: When specified in the Project Information Memorandum vehicle crossings must be cut/installed before any building operations commence. All vehicles must use that crossing. Any damage to the property's frontage will be repaired by the Council and charged directly to the property owners.Signed by or for and on behalf of the owner

Signature: _____

Name: Jane Evans
(Please Print)Date: 13/2/04

PROJECT INFORMATION MEMORANDUM CHECKLIST

Application No: 09/0172

Date: 23/2/04

438 #10 RS Map
 Lt 80tDP 73102 (Lot 18)

Map ☐

C/T ☒

Valuation No: 21750-266-00

1:0860 Lm

83 Enquiry Screen ☐

Property File ☐

Drainage ☐

		1	2	3	Authorisations Approved 4	Authorisations Required 5	Authorisations Refused 6
PBP	☒	Wind Wm	Environ Canty	SE	☒	Verification of WTT etc	
PREC	☒	Snow S	Transpower	ST	☒	prior to usage	
PCOV	☒	Earthquake (EB)	Clear Air	WS	☒		
P2M	☐	Hazard H	GA	WR	☐	A/W. re. Titles subject to S/D compliance Cert	
PCA	☐	Fill	Historic Place				
PCT	☒	Ground Instability					
		Public Drains					

Comments:

CW (to be reg)

re: 4000 l. w/t. etc

Heating - Yunes' Weij - ECan approval reqd.

① Transpower OK H.V. conductors. OK

② Water Course. OK

Siting

Location OK, Loc Pl OK, Cov. 233-g/ 1.086 Lm OK,
 g/a re min. Pl.

Services

Sewer: Pump/Tank system to be installed as per att info. prior to connection to M. sch

WS: W/T etc to be installed.

SW: To g.

V/C via ROW est. in compl with S/D

Plans Accepted: Yes ☒

No ☐

Vetted by: all OK

GB

PIM authorised for issue:

[Signature]

Customer Services Officer PIMS

Date:

23/2/04

Project Information Research Checklist for Dwellings and Major Construction

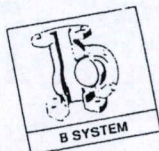
	Information Relevant to Project YES / NO	Information Attached	Information Available
Zoning		OK res 4B	
Road Widening			
Designations			
Limited Access Road Frontage			
Historic Buildings			
Protected Trees			
Easements			
Site Subject to Flood Hazard			
- APP21 HCC			
- Rural 3/C Zone			
Property File / Domestic Drainage Plan			
Resource Consent			
- Land Use No: 035304			
- Subdivision No: 950271	14/04 Res - res S/A		
- Cross Lease No:			
Land Fill			
Overhead Power Lines			
Known Natural Hazards			
Site Subject to Flood Hazard – not in District Plan			
Environment Canterbury Advice Received – Flood Hazard	-		
Harmful Contaminants, eg Asbestos, Timber Treatment Chemicals	-		
Availability and Location Water Supply / Sewer – Council Service	W: Y	S: Y	
- Well Water Supply			
- Septic Tank			

CHECK VALVE

Type 208 P

PN 6

ND 1 1/4" - 2" F/F



TECHNICAL CHARACTERISTICS

- Operates in vertical ascending and horizontal position (position the ball housing above the axis of the pipe).
- Very low headloss.
- Silent, robust.
- Non-incrustating materials.

DESCRIPTION

- Closing system : ball lifted up by the liquid and guided to a lateral housing completely out of the way.
- Sealing ensured by an elastomer seal fixed to the seat.

208 P
PVC
ball type

CHARACTERISTICS

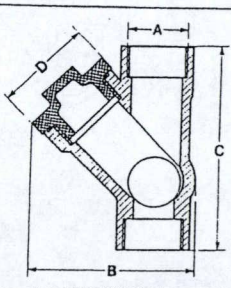
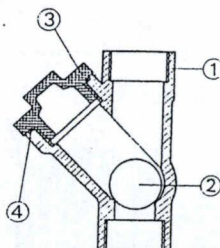
TEMPERATURE IN °C	MIN.	-10°C		
	MAX.	80°C		
PRESSURE IN BARS	OPENING PRESSURE	See the opening pressure table in mm/bars (overleaf)		
	SERVICE	6		
	TESTING PRESS.	10		
MEDIUMS	Thick, viscous, loaded liquids			
HEADLOSS CHART	See overleaf			
CONNECTIONS	F/F BSP thread			
APPROVALS				
STANDARDS				

NOMENCLATURE

N°	DESIGNATION	Q°	MATERIALS	AFNOR	DIN	BS	ANSI
1	CASING	1	PVC				
2	BALL	1	Nitrile rubber coated cast iron				
3	CAP	1	PVC				
4	SEAL	1	NITRILE : NBR				

REFERENCES-DIMENSIONS

Ref.	A (ND)	B mm	C mm	D mm	Weight kg
5222	1" 1/4	114	143	65,5	0,450
5223	1" 1/2	160	257	88,5	1,010
5224	2"	160	179	88,5	0,850



LOVIRA

GL-GLV SERIES

SUBMERSIBLE ELECTRIC PUMPS FOR WASTE WATERS

APPLICATIONS

- Circulation of sewage water containing suspended solids.
- Emptying of domestic waste water tanks, dirty water from cesspools and sewage water in general.
- Drainage of excavations and marshy grounds.

FEATURES

- Manufactured in cast iron - shaft and impeller in 304 stainless steel.
- **Motor stator installed** non-toxic, dielectric **oil** for the lubrication of the ball bearings and improved cooling.
- **Volute pump casing.**
- **Mechanical seal** protected by **sand-proof labyrinth.**
- Maximum depth of **immersion: 5 meters.**
- Maximum liquid **temperature: 50°C** with **pump wholly submersed.**
- **30°C** with **pump partially submersed.**
- Motor class F - IP68 - 2900 rpm.
- Single-channel or vortex impeller - cross-section Ø 50 mm.
- Starting panel in the single-phase version.
- Version:
Single-phase 220-230 V 50 Hz.
Three-phase 220-240 V, 50 Hz or 380-415 V 50 Hz.

TABLE OF MATERIALS

COMPONENT	MATERIAL
Pump casing	CAST IRON* 200 UNI ISO 185
Impeller	CrNi STEEL (AISI 304)
Suction flange	CrNi STEEL (AISI 304)
Support foot	CrNi STEEL (AISI 304)
O-Ring	NITRILE RUBBER
Mechanical seal	CARBON/CERAMIC/ NITRILE RUBBER
Shaft extension	CrNi STEEL (AISI 304)
Motor casing	CAST IRON* 200 UNI ISO 185

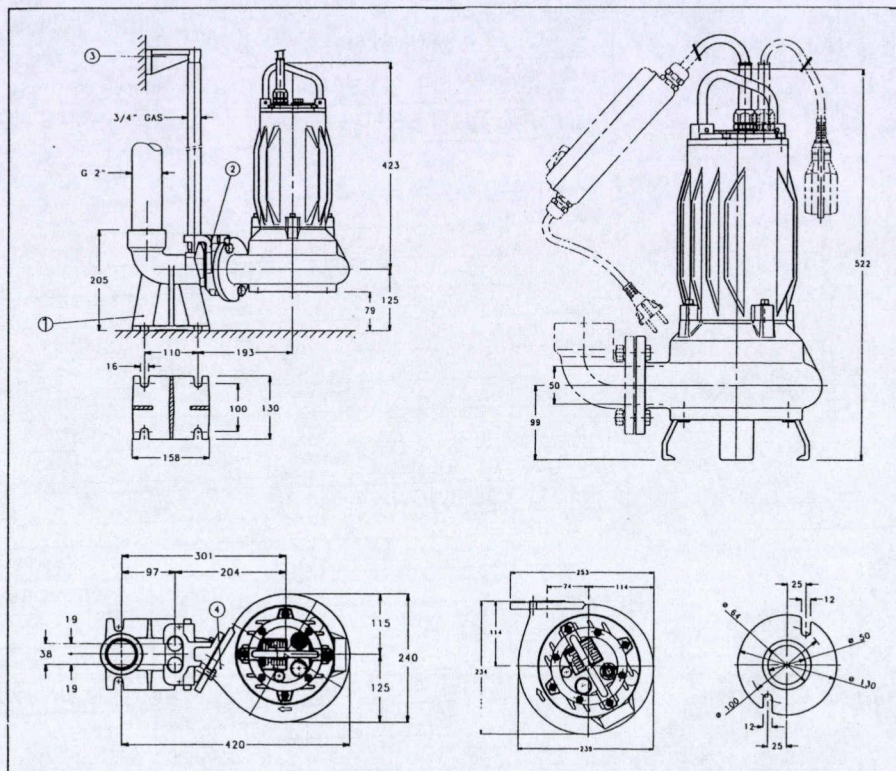
* Cast iron with polybutadiene surface treatment for electrophoresis at 180°C



Go to Price Book

Go to Price Book

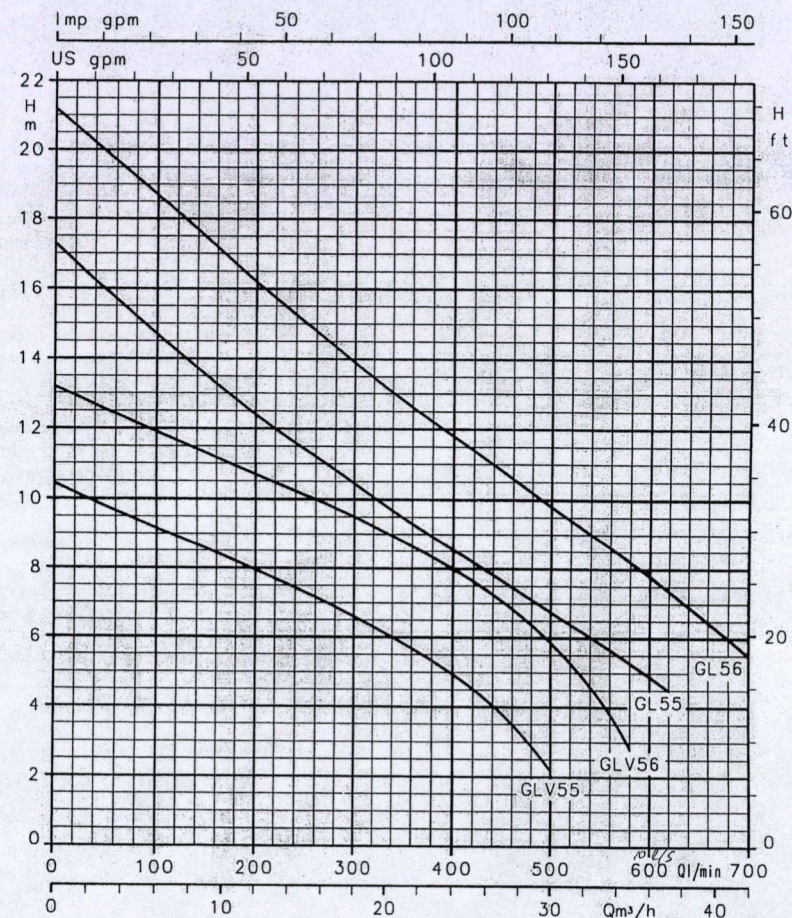
DIMENSIONS AND WEIGHTS



PUMP TYPE	WEIGHT kg
GL 55 - GLV 55	27
GL 56 - GLV 56	30
GLM 55	28
GLVM 55	27,5

GLV

WORKING FEATURES AT 2850 rpm



PUMP TYPE			kW	HP	ABSORBED POWER kW		CAPACITOR μF	V	MOTOR RATED CURRENT IN AMP			Q = CAPACITY							
SINGLE-PHASE 220-240 V 50 Hz	THREE-PHASE 220-240 V 50 Hz				SINGLE-PHASE	THREE-PHASE			SINGLE-PHASE 220-240 V	THREE-PHASE 220-240 V	380-415 V	l/min	100	200	300	400	500	600	700
												m³/h	6	12	18	24	30	36	42
H = HEAD IN METERS OF COLUMN OF WATER																			
GLVM 55	GLV 55	VORTEX	1,5	1,1	1,7	1,7	30	450	8,3	5,6	3,2	9	8	6,5	5	2			
GLV 56	VORTEX		2	1,5	-	2,2	-	-	-	6,6	3,8	12	10,5	9,5	8	6			
GLM 55	GL 55	CANALE	1,5	1,1	1,75	1,75	30	450	8,5	5,7	3,3	14,5	12,5	10,5	8,5	6,5	5		
	GL 56	CANALE	2	1,5	-	2,2	-	-	-	6,6	3,8	18,5	16	14	12	10	8	5,5	

These performances are valid for liquids with density $\rho = 1.0 \text{ kg/dm}^3$ and kinematic viscosity $\gamma = 1 \text{ mm}^2/\text{sec}$.

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

This form is approved by the Real Estate Institute of New Zealand and by the Auckland District Law Society.

DATE:

14-9-2003

VENDOR:

COLESHILL DEVELOPMENTS LIMITED

c/o Mr. R and Mrs P. Redfern 436 No 10 Road

PURCHASER:

MR. Peter J. Looyenga Mandeville R.D. Rangiora
4 Wellands Grove and Mrs Lynette A. Looyenga
Bexley.**PROPERTY**

Address of property:

PART OF 436 No 10 Road Mandeville

Estate: FEE SIMPLE

LEASEHOLD

CROSSLEASE

UNIT TITLE (if none is deleted fee simple)

Legal Description:

Area:

Lot:

DP:

CT:

LOT No 8 Being Subdivision of Lot 18 DP 73102
APPROX 1.0860 ha PLUS ACCESS**PURCHASE PRICE**

Purchase Price: \$90,000

~~Price~~ (if any) OR Inclusive of GST (if any).

If neither is deleted the purchase price includes GST (if any).

GST date: (refer clause 12)

Deposit: (refer clause 2) \$

\$5,000

Balance of purchase price to be paid or satisfied as follows:

In CASH 5 Working Days after Vendors Solicitor
advises Purchasers Solicitor new title is Available**POSSESSION** (refer clause 3)

Possession date:

5 Working Days After new title is Available

Interest rate for late settlement:

13 % p.a.

CONDITIONS (refer clause 8)

Financial condition (if any):

Lender:

LIM required:

Yes/No

Amount required:

OIA Consent required:

Yes/No

Finance date:

Land Act/OIA date:

TENANCIES (if any)

Name of tenant:

Bond:

Rent:

Term:

Right of renewal:

CHATELS

The following chattels if now situated on the property are included in the sale.

(strike out or add as applicable):

STOVE

TV AERIALS

FIXED FLOOR COVERINGS

BLINDS

CURTAINS

DRAPES

TELEPHONES

LIGHT FITTINGS

Sale by (name of real estate agent):

Paco Gethune



☎ 03 313 9105

Fax 03 313 9108

86 High Street Rangiora
P O Box 13-341 Christchurch

It is agreed that the vendor sells and the purchaser purchases the above described property, and the chattels included in the sale, on the terms set out above, and the General and Further Terms of Sale

Waimakariri DC.
03 313 4432

PlaceMakers

CRANFORD STREET BRANCH
319 Cranford Street, St Albans
PO Box 21311, Christchurch
Phone 0-3-355 0225 Fax 0-3-355 0226

**FAX COVER
SHEET**

Ken Jones Building Supplies trading as PlaceMakers

TO

Attention

Jane

Company

Balmoral Homes

Fax No.

377 9948

FROM

Name

Martin Steele

Date

30-01-04

No. of pages (incl. this page)

4

Subject

Message

Producer Statement & Layout

For Hooyenga

138 No 10 Road

Mandeville

Rangiora

Regards

Martin

Approved Application

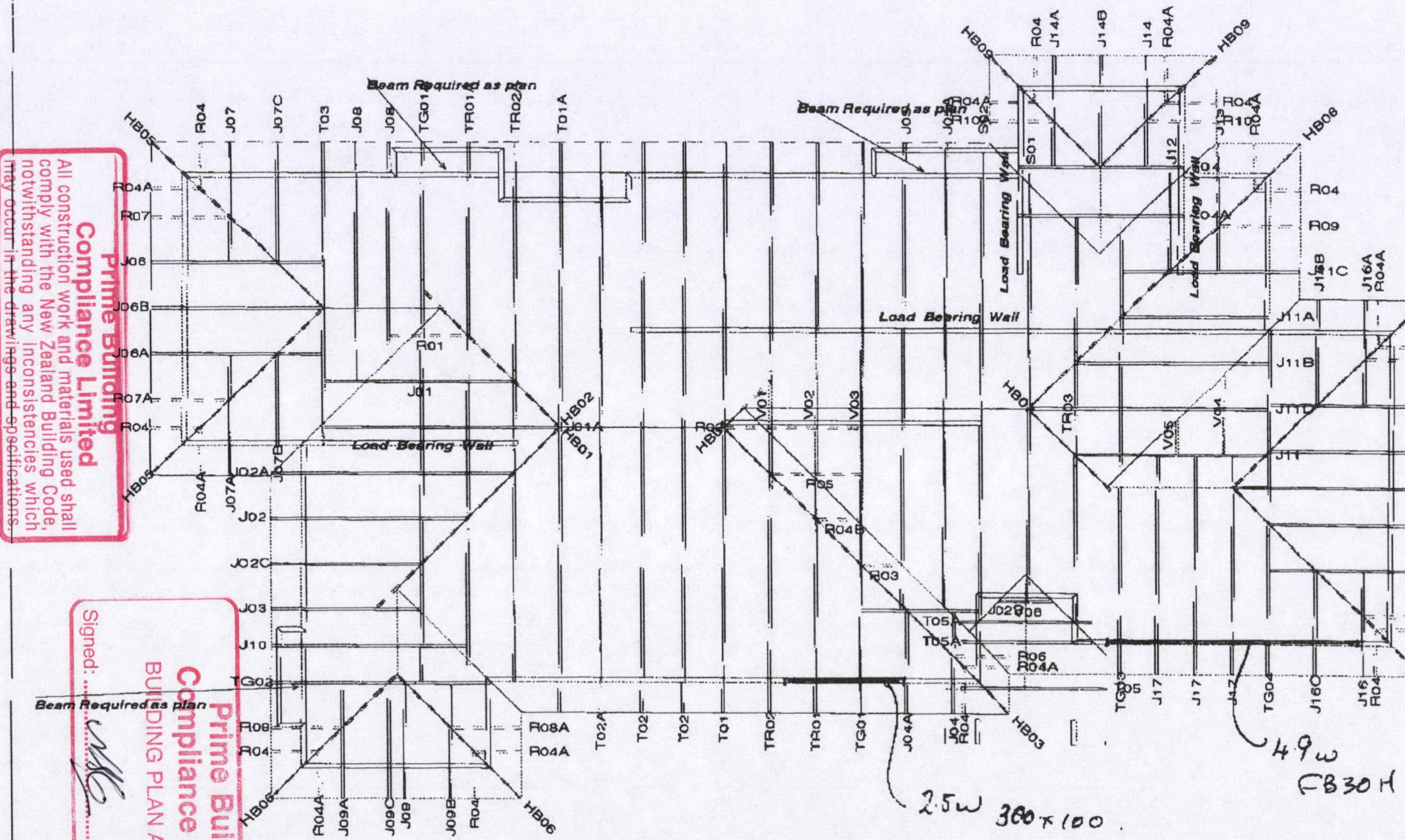
Plan PIM. *040172*

Plan P1M.....

100 m
44.3 m/s
400 mm
Standard
0.4 kPa
900 mm

49w
FB30H

25w 300x100



Compliance Limited
All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

Compliance Limited
BUILDING PLAN APPROVED
Signed: *[Signature]*
PaceMakers Cranford St.
319 Cranford Street
P.O. Box 213
Christchurch
New Zealand
Telephone: 03 355 0225
Fax: 03 355 0226

Job Details:

Job: CR40158
Scale: 1:100
Date: 29/01/2024
Drawn By: Varlin

Snow Zone: Zone 4
Wind Area: High
TC Restraints: 400 mm
Roof Material: Monier Concrete Tiles
Roof Live Load: 0.250 kPa
Roof Pitch: 29.00 deg

Snow Altitude: 100 m
Design Wind Speed: 44.3 m/s
RC Restraints: 400 mm
Ceiling Material: Standard
Snow Load: 0.4 kPa
Truss Centres: 900 mm

PlaceMakers Cranford St.

Producer Statement : Page 1

Job: CR40168

Client: A Customer
Phone:Site: Mandeville Rd
Rangiora

Description:

Phone:

Mitek 20/20 - Engineering 1.3 Overhead (Rev 1.2/2)

Mitek (New Zealand) Ltd.

Printed: 22:53:28 20 Jan 2004

PRODUCER STATEMENT
Mitek 20/20™ TRUSS DESIGN PROGRAM**Certification of Mitek 20/20™ Truss Design Program**

The Mitek 20/20™ truss design program has been developed by Mitek New Zealand Ltd for the design of GANG-NAIL timber roof, floor and attic trusses in New Zealand. The truss designs computed by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1: Structure of the Building Regulations 1992. This computer design for the proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of Mitek 20/20™ Truss Design Data and Output

The Mitek 20/20™ computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The owner must ensure that the following job details below are current and relevant to the project before fabrication and erection of the GANG-NAIL trusses.

Job Details**Roof Truss**

Timber Group:

-DDP x45

Roof

Pitch:
Ceiling

28.00 deg

Sld Overhang:

600 mm

Material:

Monier Concrete Tiles

Material:

Standard

Wind

Area:

High (44.0 m/s)

Dead Load:

0.600 kPa

Dead Load:

0.200 kPa

Pressure Coeff:

Cpe = varies; Cpi = -0.30, 0.20

Restraints:

400 mm centres

Restraints:

400 mm centres

Snow

Location: Zone 4 at 100 m

Open Ground Load:

0.550 kPa

Basic Roof Load:

0.440 kPa

These trusses must be fabricated and erected in accordance with the GANG-NAIL manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be standard gauged and treated to the requirements of NZMP 3640. Unless otherwise noted, this design assumes that the steel fixings and timber connectors are situated in a closed environment, as defined by NZS3604:1999 Section 4.

Truss List

Legend: * = detail only, ? = input only, Txx = failed design, Unmarked trusses = designed successfully

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
J11	1	2812	28.00	900	J09C	1	1895	28.00	900	V02	1	2766	28.00	900
T01A	1	10060	28.00	900	J10	1	2307	28.00	728	V03	1	4688	28.00	900
T03	1	5380	28.00	900	J11A	1	2812	28.00	900	V04	1	1588	28.00	900
TG01	1	10060	28.00	900	J11B	1	2812	28.00	900	V05	1	688	28.00	900
TG01A	1	10060	28.00	900	J11C	1	2812	28.00	900	V08	1	1042	28.00	900
TG02	1	3680	28.00	900	J11D	1	2812	28.00	900	*HB01	1	3710	20.00	900
TG03	1	9270	28.00	900	J12	1	1912	28.00	900	*HB02	1	4583	20.00	900
TG04	1	6200	28.00	900	J13	1	1912	28.00	900	*HB03	1	7885	20.00	900
TR01	1	10060	28.00	900	J14	1	1567	28.00	900	*HB04	1	1229	20.00	900
TR01A	1	10060	28.00	900	J14A	1	1567	28.00	900	*HB05	2	4578	20.00	900
TR02A	1	10060	28.00	900	J14B	1	1567	28.00	900	*HB06	2	3374	20.00	900
J01	1	2307	28.00	900	J15	1	2355	28.00	900	*HB07	1	2438	20.00	900
J01A	1	2307	28.00	900	J15A	1	2355	28.00	900	*HB08	1	7327	20.00	900
J02	1	2307	28.00	900	J15B	1	2355	28.00	900	*HB09	2	3020	20.00	900
J02A	1	2307	28.00	900	J15C	1	2355	28.00	900	*HB10	2	6156	20.00	900
J02B	1	2307	28.00	900	J15D	1	2355	28.00	900	*R01	1	1632	28.00	900
J02C	1	2307	28.00	900	J16	1	1455	28.00	900	*R02	1	2701	28.00	900
J03	1	2307	28.00	900	J16A	1	1455	28.00	900	*R03	1	788	28.00	900
J04	1	1407	28.00	900	J16B	1	1455	28.00	900	*R04	10	913	28.00	900
J04A	1	1407	28.00	900	J16C	1	1455	28.00	900	*R04A	10	913	28.00	900
J05	1	8008	28.00	900	J17	3	3712	28.00	714	*R04B	1	913	28.00	900
J05A	1	8008	28.00	900	S01	1	7970	28.00	900	*R05	1	1813	28.00	900
J06	1	2667	28.00	900	S02	1	8825	28.00	900	*R06	1	1120	28.00	900
J06A	1	2667	28.00	900	T01	1	10060	28.00	900	*R07	1	1480	28.00	900
J06B	1	2667	28.00	900	T02	2	10060	28.00	803	*R07A	1	1480	28.00	900
J07	1	1787	28.00	900	T02A	1	10060	28.00	803	*R08	1	1378	28.00	900
J07A	1	1787	28.00	900	T04	1	3180	28.00	900	*R08A	1	1378	28.00	900
J07B	1	1787	28.00	900	T04A	1	3180	28.00	900	*R09	1	1825	28.00	900
J07C	1	1787	28.00	900	T05	1	1280	28.00	900	*R10	1	1280	28.00	900
J08	2	4107	28.00	818	T05A	2	1280	28.00	900	*R10A	1	1280	28.00	900
J09	1	1665	28.00	900	TR02	1	10060	28.00	900	*R11	1	1168	28.00	900
J09A	1	1665	28.00	900	TR03	1	8270	28.00	900	*R11A	1	1168	28.00	900
J09B	1	1665	28.00	900	V01	1	996	28.00	900					

Total quantity : 125

Approved Application

Plan PIM.....

PlaceMakers Cranford St.

Producer Statement: Page 1

Job: CR40158

Client: A Customer
Phone:

Site: Mendeville Rd
Rangiora

Description:

Phone:

MTM 2020 - 84 (Rev 1) 4.3 (Rev 1) 12/20

MTM New Zealand Ltd

Form: 06-03-28 90 Jan 2004

The computer design input has been carried out by:

Signed: M. Steele

Date: 30-01-04

Name of Computer Operator:

Qualifications and Title:

Company:

Martin Steele
Estimator
PlaceMakers Cranford St.

Verification / Acceptance of Input Data:

I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed: _____

Date: _____

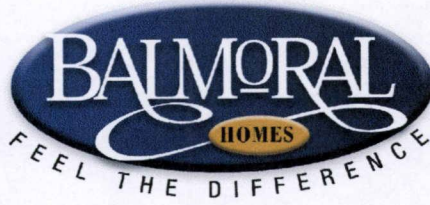
Name: _____

Company: _____

CO

040172.

040503005
BC 040172
2175026600



Balmoral Homes Ltd
Unit 2
100 Fitzgerald Avenue
P.O. Box 35-026
Christchurch
Phone 377 9949
Fax 377 9948
Em: info@balmoralthomes.co.nz
Website: balmoralthomes.co.nz

WAIMAKARIRI DISTRICT COUNCIL		
REFER TO	INITIALS	DATE
Colin P. Prime	CP	4-5-04
RECEIVED 03 MAY 2004		
Instructions		
.....		
.....		

30 April 2004

Waimakariri District Council
P O Box 1005
Rangiora
CANTERBURY

To whom it may concern

Re: P and L Looyenga – Building Consent At Lot 438, No 10 Road, Mandeville, Rangiora

Enclosed is supportive documentation for the Yunca Wegj fireplace as noted on our drawings.

Yours faithfully

pp.

Malcolm Jones

COPY



colour shown: charcoal

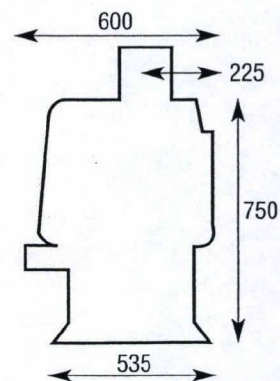
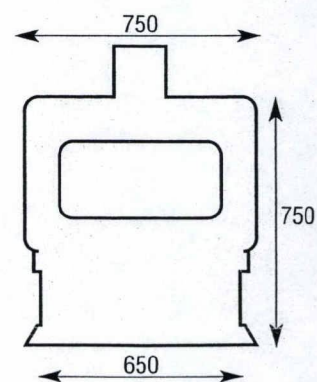
WEGJ Woodburner

FEATURES Serious heat with 18 kW output (22kW max.) – 5mm plate steel firebox fully lined with 40mm refractory bricks – wide opening bottom hinged door with double sprung mechanism – Large firebox for large logs – Large glass door for maximum radiant heat – High efficiency low emissions (clean air approved) – 150mm flue

OPTIONAL EXTRAS – 2-speed fan – enameled flue guard – water booster

FLOOR PROTECTOR & CLEARANCES – Refer to specifications further in catalogue.

YUNCA
WEGJ



YUNCA



YUNCA WEGJ 2000

A division of Terry Young Ltd.

August 2000

INSTALLATION INSTRUCTIONS FOR WEGJ 2000

FREESTANDING

TESTED TO NZS 7421-1990

- A. Manufacturer recommends all installations be carried out by competent trades persons. e.g. (Space Heater Installer) to obtain maximum performance and maintenance free heating.
- A permit is normally required and we suggest you check with your local building inspectors as by-laws can vary from area to area. Also notify your Insurance Company that a space heater has been installed.
- C. Ash Hearth-
1. Must extend at least 200mm in front of closed door.
 2. Must extend at least 150mm on each side of heater plinth.
 3. Spill hearth must be constructed of non-combustible material, with a minimum thickness of 12mm. E.g. Slate, quarry tile, ceramic tile
- D. Manufacturers recommended minimum clearances from combustible walls.

COAL RESEARCH tested to NZS 7421-1990	Clearance
Rear Clearance (with YUNCA flue guard fitted)	50mm
Side Clearance (with YUNCA flue guard fitted)	200mm
Corner Clearance (with YUNCA flue guard fitted)	30mm
Rear Clearance (without YUNCA flue guard)	180mm
Side Clearance (without YUNCA flue guard)	200mm
Corner Clearance (without YUNCA flue guard)	30mm

E. Flue Kit

1. 3.6 m x 150 mm stainless steel flue.
2. 1 x weather cap & cowl
3. 2 x 900 mm 250mm galvanised liner
4. 2 x spider brackets
5. 1 x ceiling tile
6. 1 x secondary shield

F. Standard Flue Guard Kit

1. 1 x 1200 length back guard.
2. 1 x 1200 length perforated front guard.
3. 1 x 900 length back guard

G. Accessory 1200 Flue Guard Kit

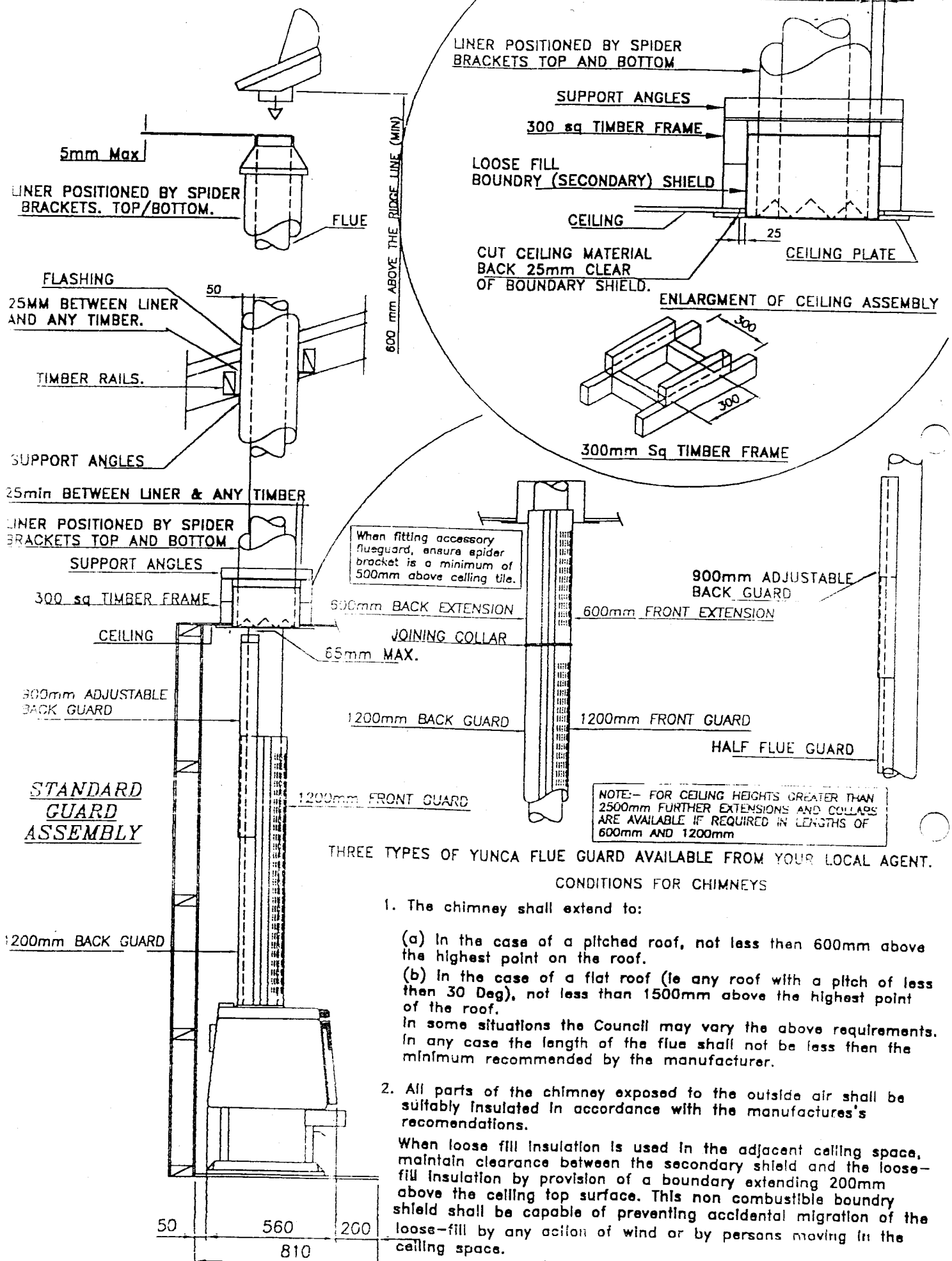
1. 1 x 1200 length back guard.
2. 1 x 1200 length perforated front guard.
3. 1 x joining collar

H. Accessory 600 Flue Guard Kit

1. 1 x 600 length back guard.
2. 1 x 600 length perforated front guard.
3. 1 x joining collar

NOTE: All joints must be sealed with flue sealing compound & screwed or riveted together (stainless steel rivets or screws), including the first length of flue being screwed to flue spigot.

TYPICAL FLUE INSTALLATION



THREE TYPES OF YUNCA FLUE GUARD AVAILABLE FROM YOUR LOCAL AGENT.

CONDITIONS FOR CHIMNEYS

1. The chimney shall extend to:

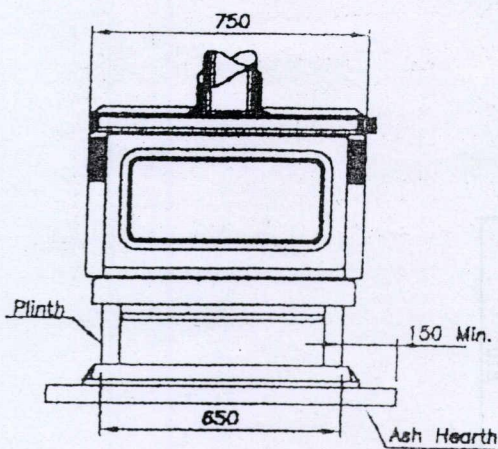
- In the case of a pitched roof, not less than 600mm above the highest point on the roof.
 - In the case of a flat roof (ie any roof with a pitch of less than 30 Deg), not less than 1500mm above the highest point of the roof.
- In some situations the Council may vary the above requirements. In any case the length of the flue shall not be less than the minimum recommended by the manufacturer.

2. All parts of the chimney exposed to the outside air shall be suitably insulated in accordance with the manufacturer's recommendations.

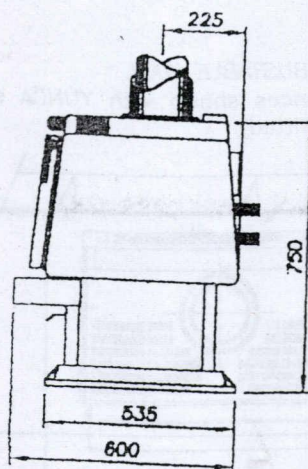
When loose fill insulation is used in the adjacent ceiling space, maintain clearance between the secondary shield and the loose-fill insulation by provision of a boundary extending 200mm above the ceiling top surface. This non combustible boundary shield shall be capable of preventing accidental migration of the loose-fill by any action of wind or by persons moving in the ceiling space.

Note: All dimensions are in millimeters.

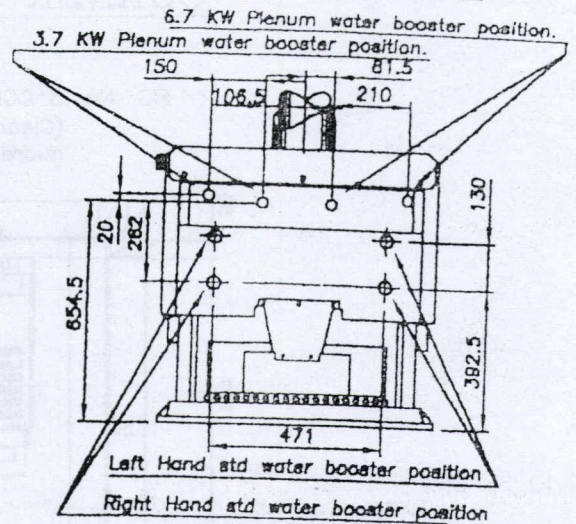
HEATER DIMENSIONS AND WATER BOOSTER POSITION



FRONT



SIDE

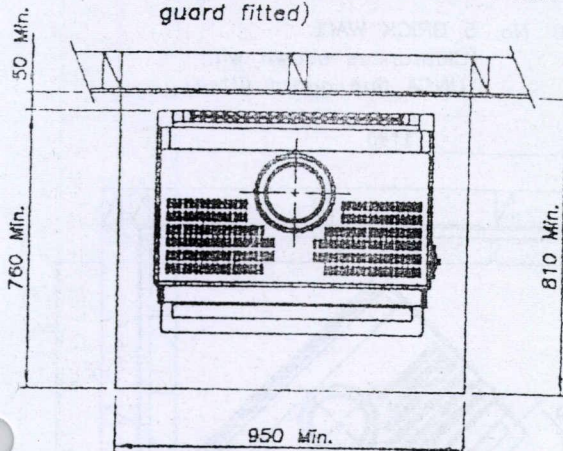


BACK
(WATER BOOSTER POSITION)

HEATER POSITION

FIG. No. 1 COMBUSTABLE WALL

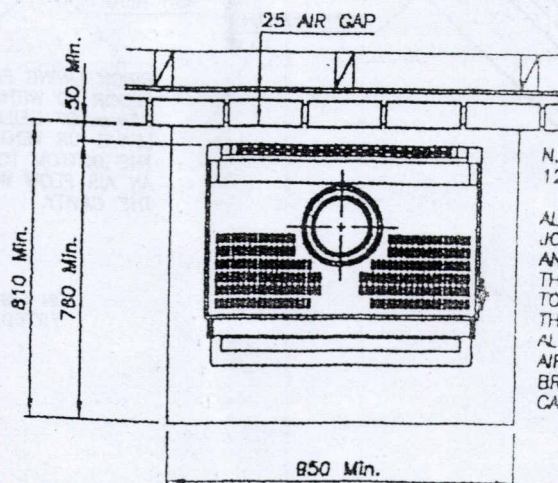
(Minimum Clearances shown with YUNCA flue guard fitted)



Note:- Rear clearance with half round flue guard should be 100mm

FIG. No. 2 BRICK WALL

(Clearances shown with YUNCA flue guard fitted)



BRICK LINING FROM FLOOR TO WITHIN 25mm OF CEILING. LEAVE AIR VENTS AT THE BOTTOM TO ALLOW AN AIR FLOW IN THE CAVITY.

N.B. BRICKWORK 1200 HIGH

ALL VERTICAL JOINTS IN TOP AND BOTTOM OF THE BRICKWORK TO BE LEFT OUT. THIS WILL ALLOW AN AIRFLOW WHEN BRICKWORK IS CAPPED.

Note:- Rear clearance with half round flue guard should be 100mm

IN FIG. No. 2 IF FLUE GUARD IS FITTED, BRICKWORK MAY BE 1200mm HIGH.

CORNER HEATER POSITION

FIG. No. 3 COMBUSTABLE WALL
(Clearances shown with YUNCA flue guard fitted)

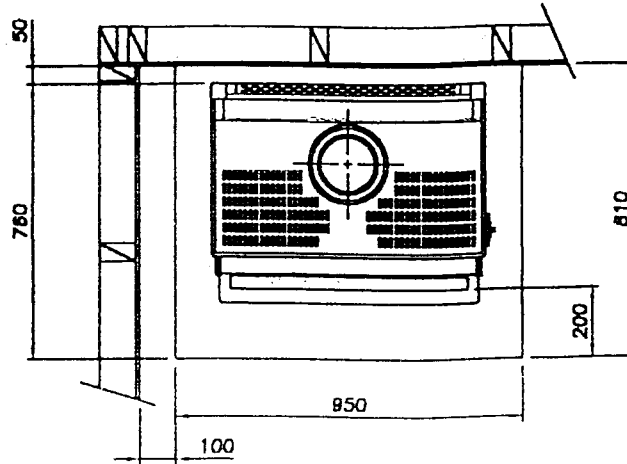


FIG. No. 4 COMBUSTABLE WALL
(Clearances shown with YUNCA flue guard fitted)

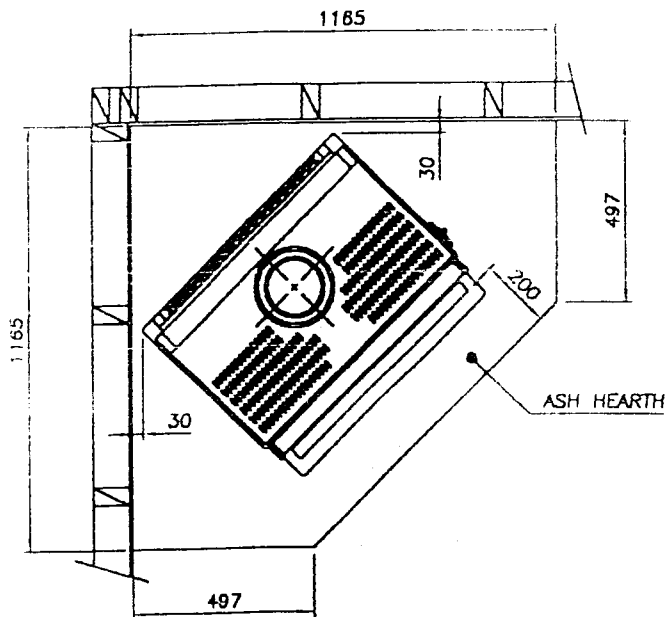
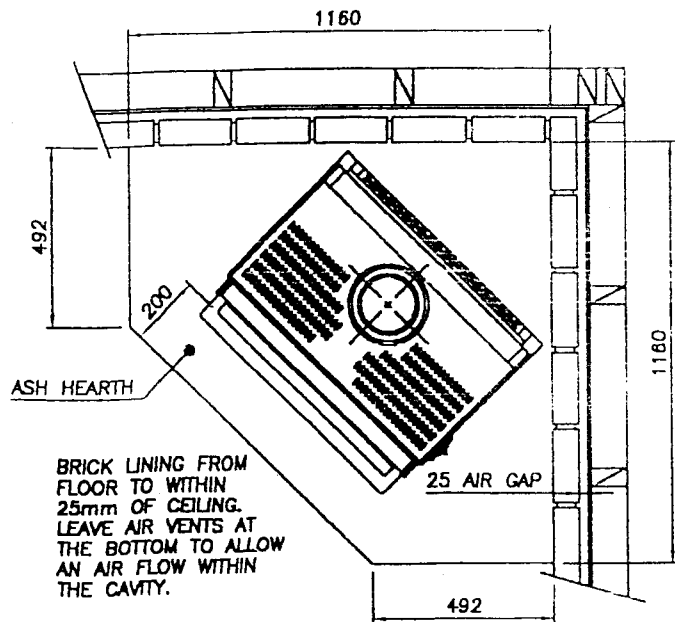


FIG. No. 5 BRICK WALL
(Clearances shown with YUNCA flue guard fitted)



IN FIG. No. 5 IF FLUE GUARD IS FITTED, BRICKWORK MAY BE 1200mm HIGH.

Looyenga
the place
for Carpent

PlaceMakers Riccarton

Clean-Air Heating Prices

Woodburner	Price	Flue Kit	Price	Extra Components Required	Price	Total Price	Ecan Approval Number
Hewitson Bronte Rear Outlet With Wetback Pedestal Base (Sku Special Heating)	\$1649.00	Standard 3.6m Flue Kit (Sku 4250599)	\$330.00	-Rear Flue Outlet Adaptor -Wetback -Tile Set (All Above Skus Special Heating)	\$125.00 \$210.00 \$85.00	\$2399.00	00009
Hewitson Contessa EF With Pedestal Base	\$2325.00	Standard 3.6m Flue Kit (Sku 4250599)	\$330.00	-Tile set	\$120.00	\$2849.00	04005
Yunca Hobson (Sku Special Heating)	\$1249.00	Standard 3.6m Flue Kit (Sku 4250599)	\$330.00			\$1579.00	03004
Yunca Wegj (Sku Special Heating)	\$1899.00	Standard 3.6m Flue Kit (Sku 4250599)	\$330.00	DIFFERENT COLOURS \$200 MORE.		\$2229.00	02011
Emtech Ethos FS100 (Sku Special Heating)	\$1919.00	Flue Kit Included	N/A			\$1919.00	02010
Emtech Ethos IS100 (Sku Special Heating)	\$1899.00	Flue Kit Included	N/A			\$1899.00	03001

Please note. All prices above include G.S.T and are recommended retail only.

FACSIMILE TRANSMISSION

FAXED



The one-stop building compliance company

DATE 7/12/07
TO Russell Worthington
COMPANY
FROM SUSIE
TIME FAX NUMBER 3135647
NUMBER OF PAGES 1 TRANSMITTED BY

Prime Building Compliance Ltd

Administrative Centre

211 High Street

PO Box 387, Rangiora

Phone 03-311 8240

Fax 03-313 1645

Call free 0800 724 2378

Email info@primebc.co.nz

Website www.primbec.co.nz

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Hi Russell,

Can you please fax through a PS4
for the pump system you installed for
Looyenga at 438 No.10 Rd?

This would make Sarah a happy
woman!

Cheers,

Susie

FACSIMILE TRANSMISSION

FAXED



The one-stop building compliance company

DATE 7/12/07
TO Russell Worthington
COMPANY _____
FROM Susie
TIME _____ FAX NUMBER 313 5647
NUMBER OF PAGES 1 TRANSMITTED BY _____

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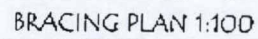
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for the pump system you installed for
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This would make Sarah a happy
woman!

Cheers,

Susie



Date: 27/05/2004

SPECIFICATION

Of work to be done and materials to be used in the erection and completion of
SINGLE STOREY HOUSE

At

438 No. 10 ROAD, MANDEVILLE, RANGIORA

For

P AND L LOOYENGA

PRELIMINARY AND GENERAL

While reasonable care has been taken to classify work under each trade, no claims will be accepted for work not mentioned in a trade section but which is expressed or implied elsewhere in the plans and specifications.

Site

The site concerning this contract is at DP: 73102, Lot 88, No. 10 Road, Mandeville, Rangiora.

Tenderers are advised to visit the site before submitting their tender to satisfy themselves as to the site conditions, ground levels and all other matters affecting the execution of the works no claims will be allowed on the grounds of ignorance of the conditions under which the works will be executed.

Conditions of Contract

The conditions of contract applicable to this contract shall be NZS 3910.1987. These conditions of contract, shall, together with the drawings and this specification, form the Contract Documents.

Ambiguities

Should any ambiguities or apparent errors arise between the contract documents, they shall be referred to the Designer for clarification before any work commences, or if they could affect the pricing of the job be referred to the Designer at the time of preparing tender.

Materials used for Boxing etc

Materials which are to be permanently incorporated in the building shall not be used for boxing or for any other temporary purpose.

**Prime Building
Compliance Limited**
BUILDING PLAN APPROVED

Signed:

[Signature] 16/3/02

**Prime Building
Compliance Limited**

All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

FIGURED DIMENSIONS

All figured dimensions shown on the drawings are believed correct. However, the Contractor shall verify all dimensions on the site and check all finished sizes before fabrication of any article. All room dimensions shall be deemed to be defined by the bare surfaces of timber framing.

WORKMANSHIP

The whole work shall be carried out by skilled tradesmen using adequate and proper equipment and methods in accordance with best trade practice and shall be of the best description. No inferior workmanship will be accepted, and any work not up to standard shall be redone at no expense to the owners.

DAMAGE

The Contractor shall make good at his own cost and to the satisfaction of the controlling authorities any damage done to footpaths, kerbs, roads, poles, conductors, cables, sewers, service mains or other property. Any damage of neighbouring properties shall also be made good. Each trade shall take steps to prevent damage or disfigurement of the work of other trades and will be responsible for the cost of restoring the same.

CLEANING

The windows, fittings and the like shall be thoroughly cleaned and on completion the building shall be left clean, tidy and ready for immediate occupation. If special finishes require special maintenance treatment, detailed information shall be provided by the Contractor. The site shall be completely cleared of all rubbish, building materials etc and left ready for landscaping.

SPECIFICATIONS

The applicable New Zealand Standard Specifications shall be deemed part of this specification.

BUILDING CONSENTS AND INSURANCE

The Contractor shall carry out the work in conformity with local by-laws and the Building Act 1991. A permits shall be taken out and paid for by the Contractor before each particular work is commenced.

If the Contractor and/or his subcontractors see or have knowledge of a preferred detail to what is shown or specified, they should raise the matter with the Designer and allow sufficient time to be given to consider the idea and a decision made.

DESIGNER

Where specified, the 'Designer' shall be deemed to mean Balmoral Homes Ltd.

PROTECTION OF PROPERTY

The Contractor shall protect the Employer's property and shall make good all damage caused thereto by the building operation by vehicle, or by workmen under his control.

The Contractor is responsible for maintaining all temporary buildings, building materials, scaffolding and the whole site in an orderly state, free of all rubbish.

PROTECTION OF PLANT, MATERIALS AND WORKS

The Contractor shall be entirely responsible for all apparatus, equipment and appurtenances furnished by him or his sub-contractors.

Particular care must be taken on the site to protect materials and finished work from moisture, dirt and damage.

The Contractor shall be responsible for any damage to his work or materials from the date of the contract agreement until the acceptance of the work by the Employer, and shall make good without cost to the Employer, any damage or loss during this period.

ATTENDANCE

- (a) The Contractor shall arrange for taking delivery and hoisting of all sub-contractors equipment and supplies.
- (b) The Contractor shall allow for forming ducts and opening in accordance with the requirement of sub-contractors. He shall require the sub-contractors to set out their work to be checked by the foreman.
- (c) The Contractor shall allow for building-in such fixings, fittings and fastening as are required for his own work and the work of sub-contractors. He shall allow to cut openings and chases and make good thereafter for all pipes, conduits and fittings, and shall attend on, cut away for, and make good after all trades, when and where directed.

MATERIALS

Materials shall be the best of their respective kind and to the Designers satisfaction. Any substandard material shall be replaced at the Contractors expense.

The Contractor shall place orders for all materials immediately he receives instructions to proceed with that work and he shall ensure delivery dates agreed with suppliers are adhered to.

All fittings, materials and/or equipment shall be delivered to the site in proper packings and any damaged in transit shall be rejected. Proper storage, care and protection on the site is required and all damaged items shall be replaced by the Contractor without charge.

EXCAVATION

Excavate for foundations and pads etc as shown on drawings (300mm min or to solid bearing), and/or as required by the Engineer.

CONCRETOR

All concrete work shall comply with NZS 3910 (1980).

All concrete shall be 20 MPa to foundations and 17.5 Mpa to floor slab.

Foundations, pads shall be reinforced as shown on drawings and/or as required by NZS 3604.

CARPENTER

All works shall comply with NZS 3604.

Timber All timber shall be treated in accordance with Timber Preservation Authority requirements.

Framing shall be Kiln dried Pinus Radiata.

Protecting all timber in contact with concrete with Malthoid DPC.

Framing If the Contractor considers an alternative to what is shown may be a better solution, he shall make it known to the Designer before commencing framing. Allow for additional timbers required for trimming, blocking, strutting or miscellaneous framing.

Fix rafters, trusses and joists to top plates with Pryda 'Z' nails (2 each) and 2/100 x 3.75 nails. Fix plates to concrete over Malthoid with R10 dowels at 900crs or M12 bent Bolts at 400crs bedded 75mm into concrete. Or 'Lumberlok' bottom plate anchors at 1200crs.

Structural Steel Supply and fix all necessary items of metalwork required to complete the work.

instructions.

Skirtings Supply and fix 60 x 12mm bevel Customwood skirtings.

Studs 90 x 45 gauged at 600 centres max. Allow to position studs to suit beams, fittings openings etc.

Dwangs 90 x 45 gauged at 800 centres max. Allow to fix dwangs to suit fittings etc

Building Paper Walls – Building Paper fixed horizontally across studs.
Roof – Building Paper over netting.
Wall Linings Generally 9.5mm Gib Board, or as shown on drawings. Line around bathrooms with 9.5mm gib water resistant board.
Selected Hardies weatherboards on building paper to gable end trusses.

Ceiling Linings Generally 9.5mm Gib Board ceilings.

Insulation Grade R3.2 ceiling batts to be installed in roof space and grade R2.2 in wall framing.

Gib Board Stopping The Contractor shall arrange for this work to be carried out by skilled tradesmen using proper and adequate equipment, in accordance with the best trade and to the entire satisfaction of the Designer.

All joints, corners and scotia joints shall be taped as work proceeds.

Stop all nail holes, joints, angles, electric wiring, outlets and any imperfections to a smooth 'glass' finish.

Exterior Doors and Windows Power coated aluminium with 25mm grooved Pinus reveals.
All exterior doors and windows shall be supplied by window manufacturer.

Fix frames with Compriband and/or gunned sealant to achieve air and watertight seals.

Minimum design shall be specified in NZS 4211 Design pressure data 750pa leakage grade B.

Exterior Bricks shall be selected 70mm series. Bricks shall be laid in perfectly straight lines accurately setout, proving even concave joints. Upon completion the bricks shall be thoroughly cleaned down to remove any mortar splashes and acid washed to remove efflorescence.

Soffits 4.5mm Hardiflex soffit with pvc joints as per manufacturer's instructions.

Shower Includes shower cabinet with easyclean trap, glazed side screen and trombone pivot door.

Bath Install selected bath with tile surround.

Vanity Install selected units as required by manufacturer.

Hardware Fit door hardware selected by Owner. Allow to supply and fit all door stops, toilet roll holders, soap dish etc.

Garage Door Selected Colorsteel sectional door with auto door opener.

ROOFING CONCRETE TILE ROOF

(a) To whole of roof supply concrete tiles.
Fix strictly in accordance with manufacturer's instructions.
Any part of roofing shown to be blemished by Contractor in any way shall be replaced at no expense to the Owner.

(b) **Flashings**
Allow to supply all associated flashings, valley gutters, ridges and gables to ensure watertightness.

- (c) **Fascia Gutter**
Shall be Metalline Fascia/Quad gutter complete with PVC Downpipes as per drawings.

JOINER WORKMANSHIP

All joinery shall be made in accordance with best trade practice of sound repute in suitable fitted up workshop.

All joinery items shall be assembled by means of the appropriate joints customarily employed in first class work.

All joints shall be accurately cut and fitted and well glued. Glue quality shall comply with NZS 1811.

Nails and brads shall be neatly punched and holes suitably stopped.

All possible measures shall be taken to avoid warping twisting and works so affected will be required to be removed and replaced.

Finish

All joinery timbers shall be machine dressed on four faces. All exposed timber shall be brought to a first class finish by machine glass papering or hand finishing to a fine finish.

Entry Door

860mm 4 panel, Lifestyle II

Door Frames

Provide interior door frames from 25mm Customwood.

Interior Doors

Interior doors shall be paint quality flush panel hollow core doors as required by Owner.

Cupboard doors shall be 18mm Customwood.

Wardrobe and cupboard sliders shall be Glidemaster aluminium with gib panels and customwood reveals.

Cupboards, Benches and Fittings

Building and supply in the carcass all interior fittings.

Cupboard Units All cupboard units, shelves, doors and drawer fronts shall be melamine finish.

Bench tops shall be formica on 18mm particle board.

Hinges Cupboard doors shall be hung on the face of units using 'Grass 170 degree', or similar, hinges.

Dimensions Check all dimensions on site before commencing work.

NOTE: Joiner to consult Owner/Contractor for exact sizes and types of fittings. Joiner to provide required openings for fittings.

ELECTRICIAN

All work under the supervision of a registered Electrician and comply with electrical wiring regulations.

Allow to supply and fit NZ Insulation Ltd s-160 series MCB switchboards (or similar).

Verify all positions of fittings before starting.

The Electrician shall supply all labour, wiring, switches etc. (PDL range).

Connect hot water cylinder.

The owner shall supply light fittings for the electrician to install. Also allow to pre-wire and fit telephone/television outlets.

The Electrician shall discuss work required with the owner before preparing the tender, including sockets for kitchen appliances.

PLUMBER

All plumbing work shall be strictly in accordance with requirements and regulations of the local Drainage Authority and NZ Building Code G12/AS1 and G13/AS1

Workmanship and materials – work shall be carried out by a registered Plumber in accordance with best trade practice using best quality materials.

Cold Water - Piping shall be PVC (conceal in wall framing). Isolating valve and meter required to house.

Hot Water - Piping shall be Polytherm.
270 Litre medium pressure HWC with pressure reducing valve.
- Allow to plumb for dishwasher unit with isolating valve.
- HWC to be fitted with Tempering Valve at 55°C. Restrain HWC's as required by Building Code.

Wastes - Shall be PVC of sizes required by drainage regulations. Conceal all wastes from view.

DRAINAGE

All drainage work shall be strictly in accordance with the requirements and regulations of the local Drainage Authority and NZ Building Code G13/AS2..

Stormwater Lay 100 UPVC stormwater to connect into soak pits.

Sewer Lay 100 UPVC sewer drain to required falls to connect into septic tank and effluent lines, all in accordance with Local District Council.

PAINTING

All materials and workmanship shall be of the best quality.

It is the responsibility of the Painter to ensure that all the surfaces are in a suitable condition to enable a first class finish to be obtained.

NOTE: The Carpenter shall allow to prime all exterior timberwork and metalwork before they are fixed into position.

Allow to paint all interior and exterior work required to be painted.

The number of coats and paint types shall be specified by the paint manufacturer to suit the particular surface.

The Painter shall discuss the extent of the work required with the Owners before preparing the tender.

**BALMORAL HOMES LTD
UNIT 2, 100 FITZGERALD AVENUE
CITY
CHRISTCHURCH**

**PHONE 377 9949
FAX 377 9948**

Gib® Wall Bracing Calculation Sheet A**single storey**

V104A

Job Details

Name	P & L LOOYENGA	4404
Street and Number	438 No. 10 Road	
Lot and DP Number	Lot 8 DP 73102	
City/Town/District	Mandeville	
Designer and date	CMKR	1-Jan-04
Company Name	Balmoral Homes	

Building Specification

Location of Storey	single	▼	
Floor Loading	2 kPa	▼	
Foundation Type	slab	▼	
Building Height to Apex (m)	7	▼	
Roof Height above Eaves (m)	4 3.2	▼	
Stud Height (m)	2.4	▼	
Cladding Weight (top or single)	heavy	▼	
Cladding Weight (lower)	light	▼	not applicable (single storey building)
Cladding Weight (subfloor)	light	▼	not applicable (slab)
Roof Weight	heavy	▼	
Roof Pitch (degrees)	25-45	▼	
Room in Roof Space	no	▼	
Building Length (m)	24.71		Use roof length including eaves
Building Width (m)	13.96		Use roof length including eaves
Gross Building Plan Area (m2)	233.94		

Building Location

Wind Zone	Low		Earthquake Zone	
Region	R1	▼	B	▼
Terrain	Inland	▼		
Exposure	Sheltered	▼		
Topography	Gentle	▼		Enter at least 'moderate' in a Lee Zone

Bracing Units required for Wind

per m	subfloor	walls
W along	n/a	48 BUs/m
W across	n/a	60 BUs/m
Totals	subfloor	walls
W along	n/a	670 BUs
W across	n/a	1483 BUs

Bracing Units required for Earthquake

per m2	subfloor	walls
E	n/a	6.8 BUs/m2
Totals	subfloor	walls
E along	n/a	1591 BUs
E across	n/a	1591 BUs

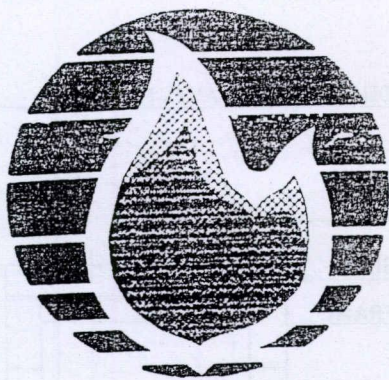
**Prime Building
Compliance Limited**
BUILDING PLAN APPROVED

Signed: *MLG* 16/3/04

**Prime Building
Compliance Limited**
All construction work and materials used shall
comply with the New Zealand Building Code,
notwithstanding any inconsistencies which
may occur in the drawings and specifications.

V104A

Along								
Wall or Bracing Line	Bracing Elements provided						Wind	Earthq.
1	2	3	4	5	6	7	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Element Length L (m)	Element Height H (m)	BUs Achieved	BUs Achieved
A	213.5	1	Ply	SP1G ✓	1.2	2.4	120	120
line totals		2	Gib®	Gib1a ✓	2	2.4	110	100
W	350	3	Ply	SP1G ✓	1.2	2.4	120	120
EQ	340	4						
B	70	1	Gib®	Gib2b ✓	3.6	2.4	288	252
line totals		2	Gib®	Gib2b ✓	3	2.4	240	210
W	936	3	Gib®	Gib2b ✓	3.6	2.4	288	252
EQ	834	4	Ply	SP1G ✓	1.2	2.4	120	120
C	175.7	1	Ply	SP2G ✓	0.6	2.4	57	57
line totals		2	Gib®	Gib1a ✓	2.3	2.4	127	115
W	361	3	Ply	SP2G ✓	0.6	2.4	57	57
EQ	349	4	Ply	SP1G ✓	1.2	2.4	120	120
D	39.2	1	Ply	SP2G ✓	0.8	2.4	76	76
line totals		2	Ply	SP2G ✓	0.8	2.4	76	76
W	152	3						
EQ	152	4						
E	enter	1						
line totals		2						
W		3						
EQ		4						
F	enter	1						
line totals		2						
W		3						
EQ		4						
G	enter	1						
line totals		2						
W		3						
EQ		4						
H	enter	1						
line totals		2						
W		3						
EQ		4						
I	enter	1						
line totals		2						
W		3						
EQ		4						
J	enter	1						
line totals		2						
W		3						
EQ		4						
							Wind	Earthq.
Totals Achieved							1799	1675
							OK	OK
Totals Required (from Sheet A)							670	1591



YUNCA WEGJ 2000

A division of Terry Young Ltd.

August 2000

INSTALLATION INSTRUCTIONS FOR WEGJ 2000

FREESTANDING

TESTED TO NZS 7421-1990

- A. Manufacturer recommends all installations be carried out by competent trades persons. e.g. (Space Heater Installer) to obtain maximum performance and maintenance free heating.
- A permit is normally required and we suggest you check with your local building inspectors as by-laws can vary from area to area. Also notify your Insurance Company that a space heater has been installed.
- C. Ash Hearth-
1. Must extend at least 200mm in front of closed door.
2. Must extend at least 150mm on each side of heater plinth.
3. Spill hearth must be constructed of non-combustible material, with a minimum thickness of 12mm. E.g. Slate, quarry tile, ceramic tile
- D. Manufacturers recommended minimum clearances from combustible walls.

COAL RESEARCH tested to NZS 7421-1990	Clearance
Rear Clearance (with YUNCA flue guard fitted)	50mm
Side Clearance (with YUNCA flue guard fitted)	200mm
Corner Clearance (with YUNCA flue guard fitted)	30mm
Rear Clearance (without YUNCA flue guard)	180mm
Side Clearance (without YUNCA flue guard)	200mm
Corner Clearance (without YUNCA flue guard)	30mm

E. Flue Kit

1. 3.6 m x 150 mm stainless steel flue.
2. 1 x weather cap & cowl
3. 2 x 900 mm 250mm galvanised liner
4. 2 x spider brackets
5. 1 x ceiling tile
6. 1 x secondary shield

F. Standard Flue Guard Kit

1. 1 x 1200 length back guard.
2. 1 x 1200 length perforated front guard.
3. 1 x 900 length back guard

G. Accessory 1200 Flue Guard Kit

1. 1 x 1200 length back guard.
2. 1 x 1200 length perforated front guard.
3. 1 x joining collar

H. Accessory 600 Flue Guard Kit

1. 1 x 600 length back guard.
2. 1 x 600 length perforated front guard.
3. 1 x joining collar

NOTE: All joints must be sealed with flue sealing compound & screwed or riveted together (stainless steel rivets or screws), including the first length of flue being screwed to flue spigot.

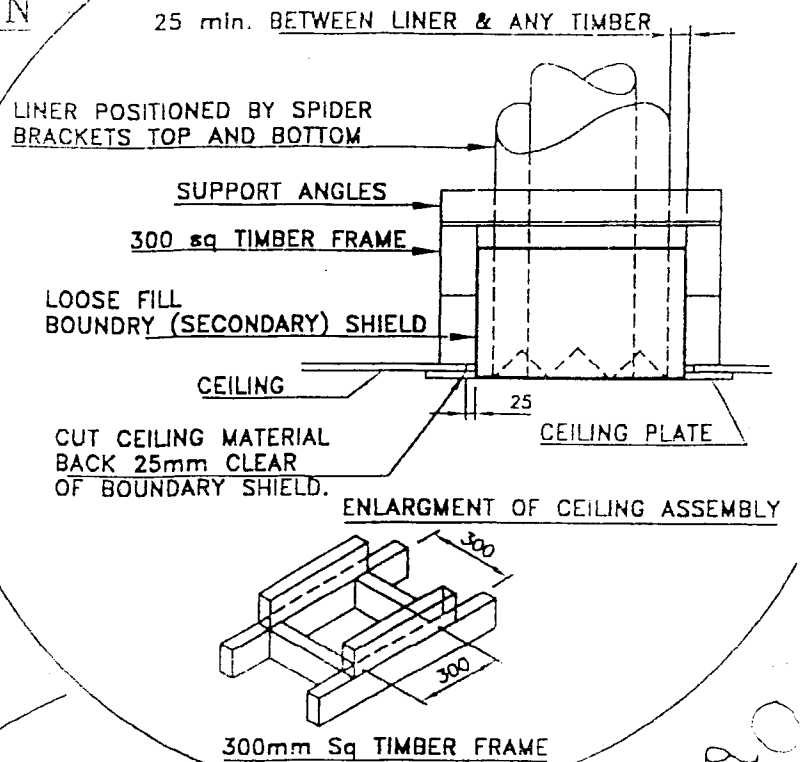
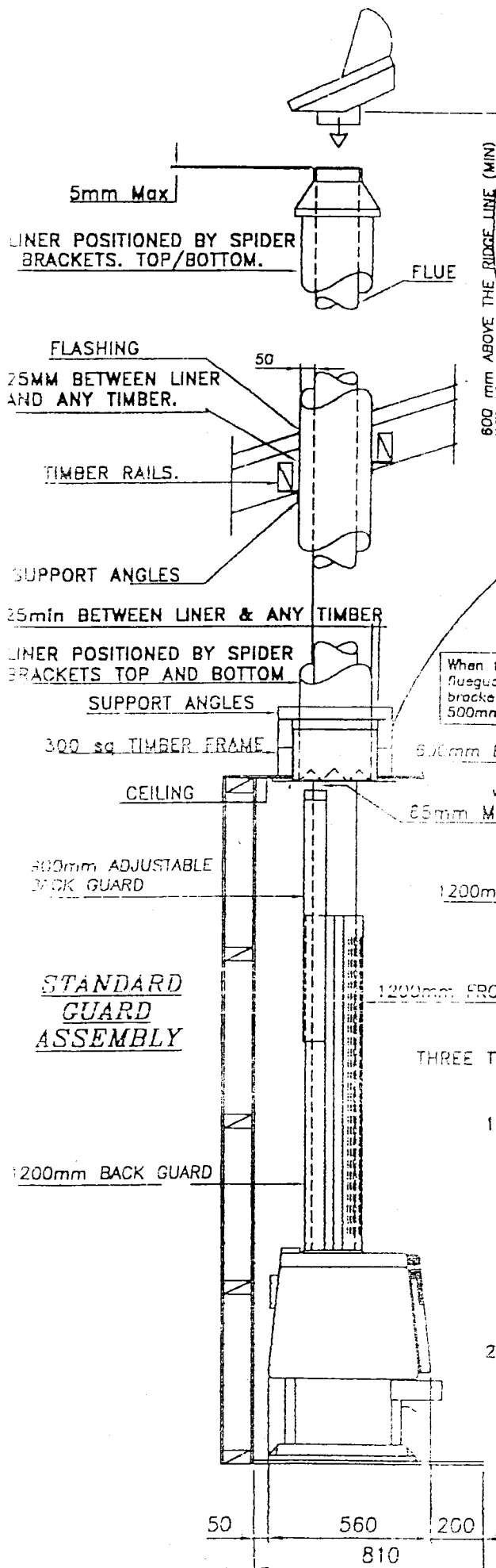
BUILDING PLAN APPROVED

Signed:

16/3/00

**Prime Building
Compliance Limited**
All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

TYPICAL FLUE INSTALLATION



When fitting accessory flueguard, ensure spider bracket is a minimum of 500mm above ceiling tile.

500mm BACK EXTENSION

JOINING COLLAR

65mm MAX.

1200mm BACK GUARD

600mm FRONT EXTENSION

1200mm FRONT GUARD

HALF FLUE GUARD

NOTE:- FOR CEILING HEIGHTS GREATER THAN 2500mm FURTHER EXTENSIONS AND COLLARS ARE AVAILABLE IF REQUIRED IN LENGTHS OF 600mm AND 1200mm

THREE TYPES OF YUNCA FLUE GUARD AVAILABLE FROM YOUR LOCAL AGENT.

CONDITIONS FOR CHIMNEYS

1. The chimney shall extend to:

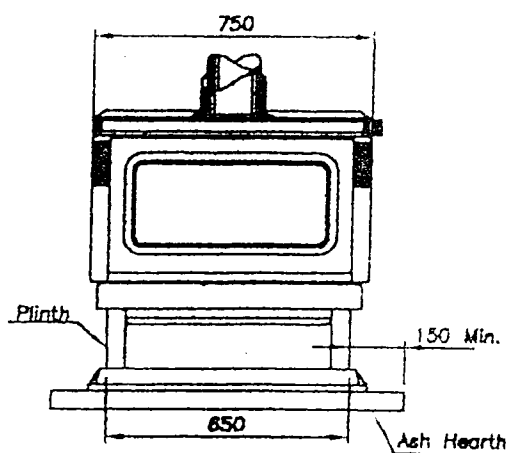
- In the case of a pitched roof, not less than 600mm above the highest point on the roof.
 - In the case of a flat roof (ie any roof with a pitch of less than 30 Deg), not less than 1500mm above the highest point of the roof.
- In some situations the Council may vary the above requirements. In any case the length of the flue shall not be less than the minimum recommended by the manufacturer.

2. All parts of the chimney exposed to the outside air shall be suitably insulated in accordance with the manufacturer's recommendations.

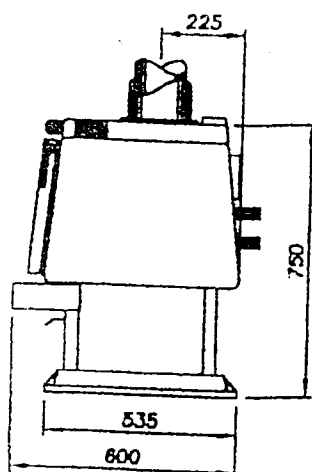
When loose fill insulation is used in the adjacent ceiling space, maintain clearance between the secondary shield and the loose-fill insulation by provision of a boundary extending 200mm above the ceiling top surface. This non combustible boundary shield shall be capable of preventing accidental migration of the loose-fill by any action of wind or by persons moving in the ceiling space.

Note: All dimensions are in millimeters.

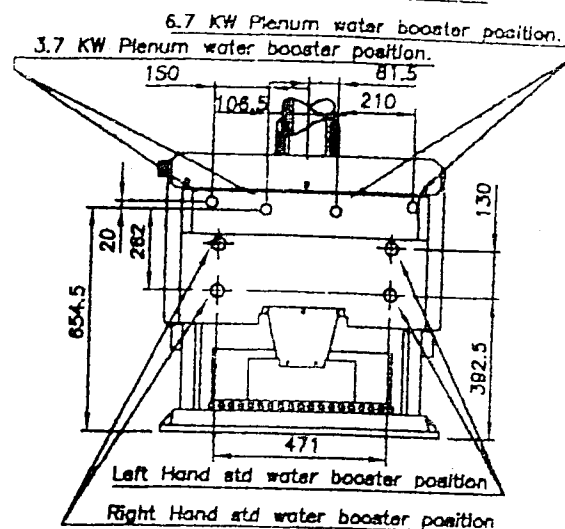
HEATER DIMENSIONS AND WATER BOOSTER POSITION



FRONT



SIDE

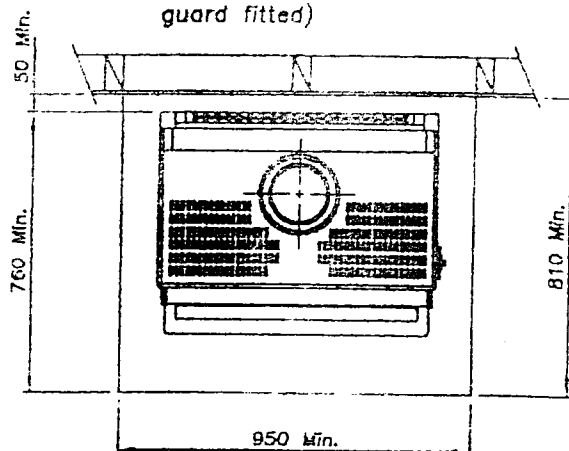


BACK
(WATER BOOSTER POSITION)

HEATER POSITION

FIG. No. 1 COMBUSTABLE WALL

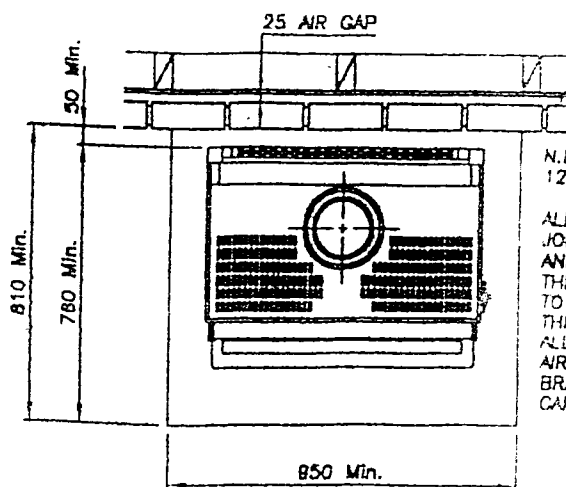
(Minimum Clearances shown with YUNCA flue guard fitted)



Note:- Rear clearance with half round flue guard should be 100mm

FIG. No. 2 BRICK WALL

(Clearances shown with YUNCA flue guard fitted)



BRICK LINING FROM FLOOR TO WITHIN 25mm OF CEILING. LEAVE AIR VENTS AT THE BOTTOM TO ALLOW AN AIR FLOW IN THE CAVITY.

N.B. BRICKWORK 1200 HIGH

ALL VERTICAL JOINTS IN TOP AND BOTTOM OF THE BRICKWORK TO BE LEFT OUT. THIS WILL ALLOW AN AIRFLOW WHEN BRICKWORK IS CAPPED.

Note:- Rear clearance with half round flue guard should be 100mm

IN FIG. No. 2 IF FLUE GUARD IS FITTED, BRICKWORK MAY BE 1200mm HIGH

CORNER HEATER POSITION

FIG. No. 3 COMBUSTABLE WALL
(Clearances shown with YUNCA flue guard fitted)

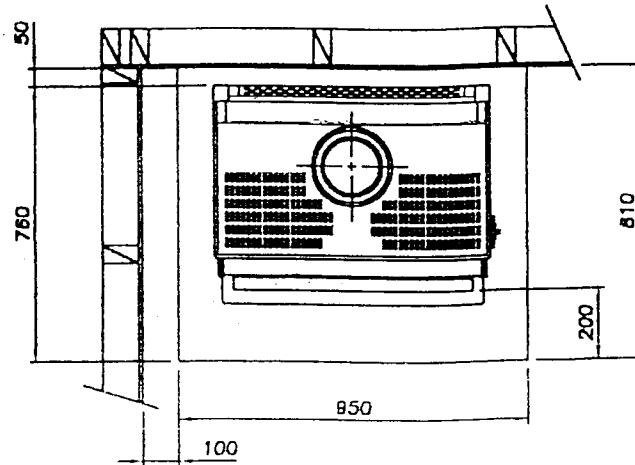


FIG. No. 4 COMBUSTABLE WALL
(Clearances shown with YUNCA flue guard fitted)

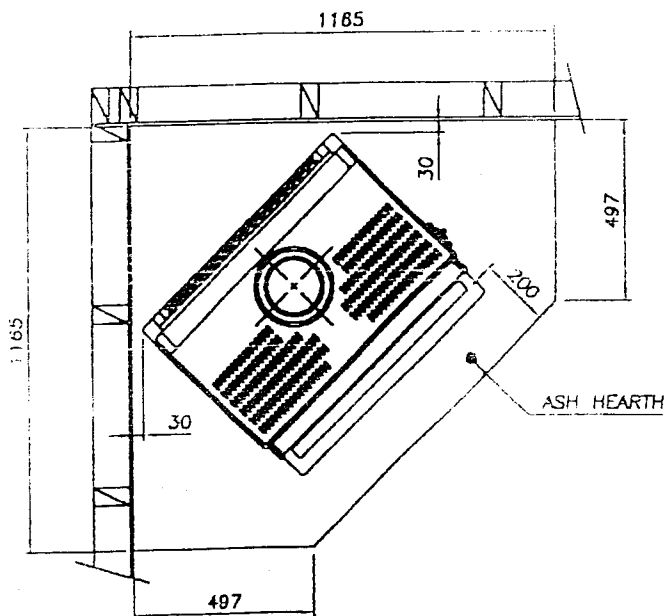
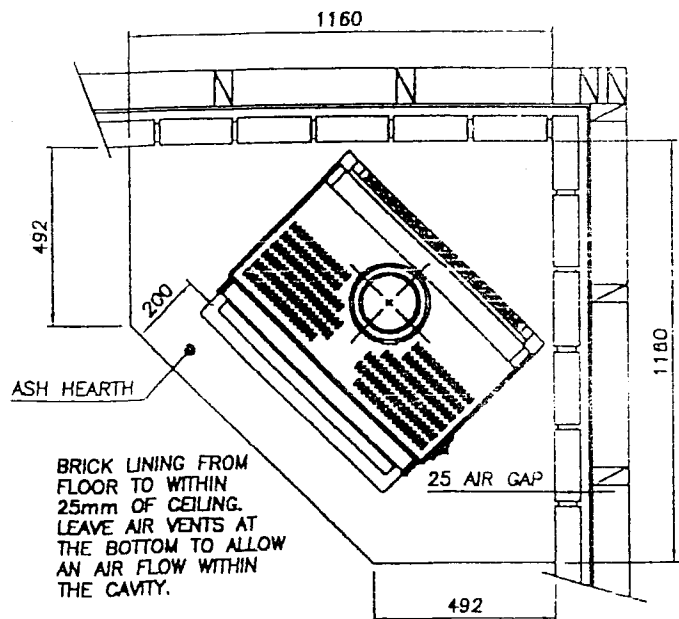


FIG. No. 5 BRICK WALL
(Clearances shown with YUNCA flue guard fitted)



IN FIG. No. 5 IF FLUE GUARD IS FITTED, BRICKWORK MAY BE 1200mm HIGH.

**Prime Building
Compliance Limited**
BUILDING PLAN APPROVED

Signed:

C7.5.8.6.1

Typically the depth of cut will be 25 mm with a single saw blade width of approximately 5 mm. Special techniques may be used to cut the joints in the concrete's plastic state.

C7.5.8.6.2

The position of special finishes to be laid over the floor should be considered when determining the joint layout.

7.5.8.6 Shrinkage control joints

7.5.8.6.1 General

Shrinkage control joints shall either be formed by saw cutting the slab after it has hardened, or by casting in a crack inducer into the slab. Crack inducer placement shall not damage the DPM. The inducer or saw cuts shall extend to a quarter of the depth of the slab. Saw cutting shall take place no later than 24 hours for average ambient temperatures above 20 °C, and 48 hours for average ambient temperatures below 20 °C."

7.5.8.6.2 Unreinforced concrete slabs

Location of shrinkage control joints in unreinforced concrete slabs shall comply with the following criteria:

- (a) Panels formed shall have a maximum ratio of length: width of 1.3:1. Any panels formed which exceed this value shall be reinforced as specified in 7.5.8.3.
- (b) The maximum plan dimension of concrete between construction joints, or shrinkage control joints is 3 m;
- (c) Supplementary steel placed as shown in figure 7.17 but not across shrinkage control joints.

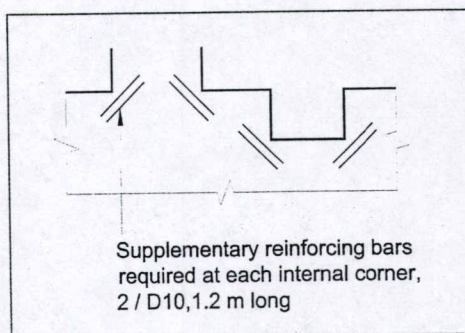


Figure 7.17 – Irregular slab (plan view) (see 7.5.8.6.2)

**Prime Building
Compliance Limited**

All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

FIG. 18 STANDARD BRICK VENEER

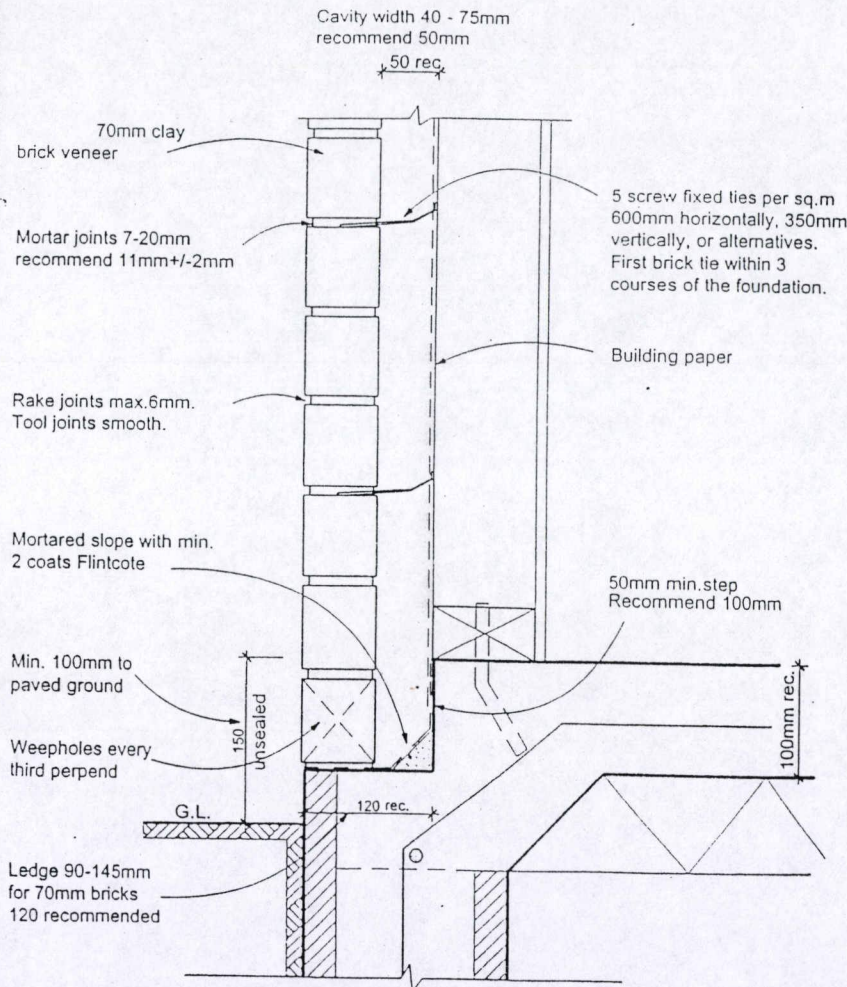


FIG. 29 WINDOW HEAD - Aluminium

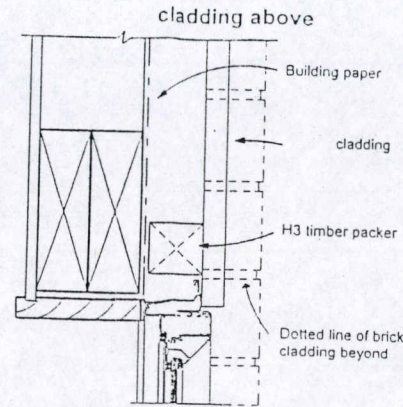


FIG. 3 WINDOW HEAD - Aluminium

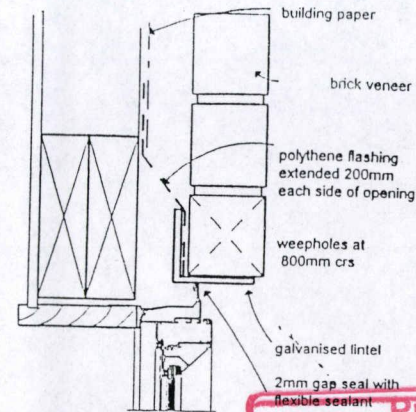


FIG. 17 WINDOW SILL - Aluminium

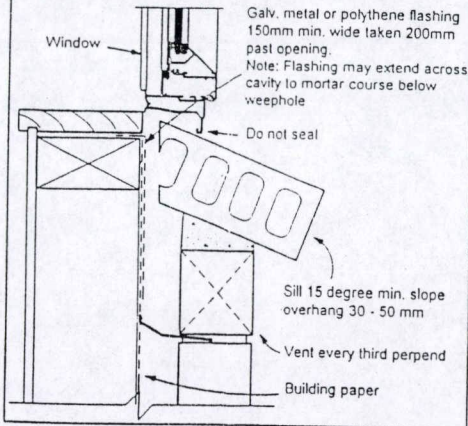


FIG. 3 WINDOW JAMB - Aluminium

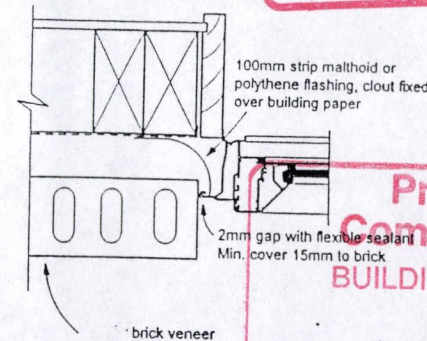


FIG. 12 BRICK DOOR SILL

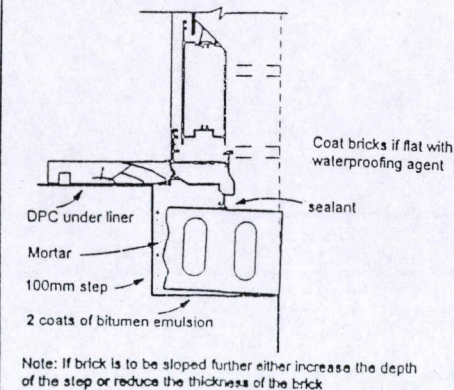
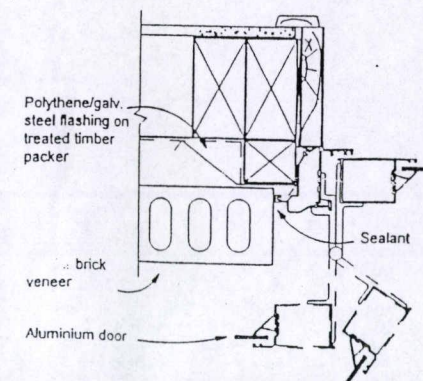


FIG. 13 DOOR JAMB - Aluminium



Prime Building Compliance Limited
All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

Prime Building Compliance Limited
BUILDING PLAN APPROVED

Signed: *N/S* 16/3/04

JOB TITLE

DRAWING TITLE

BRICK VENEER
DETAILS

SALES

DRAWN

CHECKED

JOB No.

SHEET No.

SCALE

DATE

23 February 2004

Our Reference: "PIM Number : 040172 "

P & L LOOYENGA
C/- BALMORAL HOMES LTD
PO BOX 35026
CHRISTCHURCH

Dear Sir/Madam

PROJECT INFORMATION MEMORANDUM

Please find enclosed your Project Information Memorandum in respect of the proposed work at 438 NO 10 RD.

Prior to **commencing building work**, the applicant must ensure that a Building Consent has been applied for and issued and that any "authorisations" have been obtained and any conditions of the PIM have been verified.

These include:

- The applicant will need to confirm with Environment Canterbury (Canterbury Regional Council) whether their proposed SFB (Yunca Weigi) will comply with their requirements, prior to installation.. Please refer to their website, www.ecan.govt.nz or phone 'Clean-Air Now' 0800 324 636)
- The applicant is advised that the issuing of the Title for this proposed lot, is subject to the sub-division conditions being met and approved, and they are in effect erecting the proposed structure onto the current owners property.
- A water tank of 4000 l (minimum storage) and associated pipework, must be installed on site prior to the usage of any water (as per the Consent Notice to be issued on this property.

The approval plan attached to this Project Information Memorandum must be included with the Building Consent for the project (when issued). Any significant departure from the original plans may require that a new Project Information Memorandum be issued.

Yours faithfully



Jamie Woods
PIMs Officer

215 High Street
Private Bag 1005
RANGIORA 8254
New Zealand

Phone: (03) 313 6136
or: (03) 327 6834
Fax: (03) 313 4432

Website: www.waimakariri.govt.nz

Project Information Memorandum

Section 31, Building Act 1991

Application

P & L LOOYENGA	No.	040172
C/- BALMORAL HOMES LTD	Issue date	23/02/04
PO BOX 35026	Application date	16/02/04
CHRISTCHURCH		

Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages SINGLE LEVEL DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$219,000
Location	438 NO 10 RD
Legal Description	Lot 8 R035304
Valuation No.	2175026600

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ___ Information identifying relevant special features of the land concerned
- ___ Information about the land or building concerned notified to the Council by any statutory organisation having the power to classify land or buildings
- ___ Details of relevant utility systems
- ___ Details of authorisations which have been granted
- ___ Notification of any other authorisations which must be obtained before the proposed building work may be undertaken

All boundary survey pegs are to be located by discovery or redefinition and flagged before work is commenced.

No part of the structure is to exceed the Councils recession plane.

Any inbuilt or freestanding heater to be installed in this dwelling should be clean air approved.

The certificate of title may make reference to land covenants - a copy of which should be submitted with the Building Consent application.

A current copy of the certificate of title is to be submitted with the building consent application.

This project Information Memorandum does not purport to be a full report on every aspect of the property which is likely to be relevant to the building works proposed. It is information that is known to the Council at the date of the issue of this memorandum. It is issued pursuant to Sections 31 and 47 of the Building Act 1991.

INFORMATION IDENTIFYING RELEVANT SPECIAL FEATURES OF THE LAND

Wind Zone Medium

Earthquake Zone B

Snow Load Zone 4

Hazard Identification – Other -High Voltage Lines

Comments:

High Voltage Lines:

Note that High Voltage Lines run across the far NE corner to the property.

The location of any structure must be in accordance with the NZ Electrical Code of Practice 'Electrical Safe Distances, NZECP 34:2001'. The proposed structure is well clear of any restriction.

Attachments:

NZ Electrical Code of Practice 'Electrical Safe Distances, NZECP 34:2001'

INFORMATION ABOUT THE LAND OR BUILDINGS NOTIFIED TO THE COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS

Environment Canterbury (Canterbury Regional Council)

Comments:

The applicant will need to confirm with Environment Canterbury (Canterbury Regional Council) whether their proposed SFB (Yunca Weigi) will comply with their requirements, prior to installation.. Please refer to their website, www.ecan.govt.nz or phone 'Clean-Air Now' 0800 324 636)

Attachments:

Nil

DETAILS OF RELEVANT UTILITY SYSTEMS (administered by the Waimakariri District Council)

Sewer

Is a connection to a public sewer scheme available?

Yes

If yes, which public sewer scheme?

Mandeville

Is the property already connected?

No

Connection Fee

\$****

Capital Charge

\$****

Inspection Fee

\$****

Comments:

Note that an approved pump/tank set-up (as per attached information) is to be installed prior to connection to the reticulated system.

Connect to the lateral, as shown on the sub-division "As-Built" service plans attached.

The applicant is advised to refer to the attached letter, regarding their responsibility for the maintenance of the pump and tank systems

Water

Is a connection to a public water supply available?

Yes

If yes, which public water supply?

Mandeville

Is the property already connected?

No

What size connection is in existence?

Connection Fee

\$****

Capital Charge

\$****

Comments:

A water tank of 4000 l (minimum storage) and associated pipework, must be installed on site prior to the usage of any water (as per the Consent Notice to be issued on this property).

Stormwater

Is a connection to a public drainage system available?

NO

Discharge point: ground

Comments:

Stormwater disposal to approved ground soakage

Attachments

"As-built" service plans

DETAILS OF AUTHORISATIONS THAT HAVE BEEN GRANTED

Resource Consent:

Resource Consent 950271 (14 lot rural-residential sub-division)

Resource Consent 035304 (11 lot residential 4 sub-division)

Comments:

Attachments:

Resource Consent 950271

Resource Consent 035304

DETAILS OF AUTHORISATIONS THAT MUST BE OBTAINED BEFORE BUILDING CAN COMMENCE:

SFH:

The applicant will need to confirm with Environment Canterbury (Canterbury Regional Council) whether their proposed SFB (Yunca Weigi) will comply with their requirements, prior to installation.. Please refer to their website, www.ecan.govt.nz or phone 'Clean-Air Now' 0800 324 636)

Comments:

Water Supply:

A water tank of 4000 l (minimum storage) and associated pipework, must be installed on site prior to the usage of any water (as per the Consent Notice to be issued on this property).

Sub-Division Compliance:

The applicant is advised that the issuing of the Title for this proposed lot, is subject to the sub-division conditions being met and approved, and they are in effect erecting the proposed structure onto the current owners property.

Attachments:

DETAILS OF VEHICLE CROSSING (ENTRANCEWAY), TYPE OF FRONTAGE AND TRENCH OPENING PERMIT

Vehicle Crossing (Entranceway)

Comments:

ROW constructed in compliance with the sub-division consent

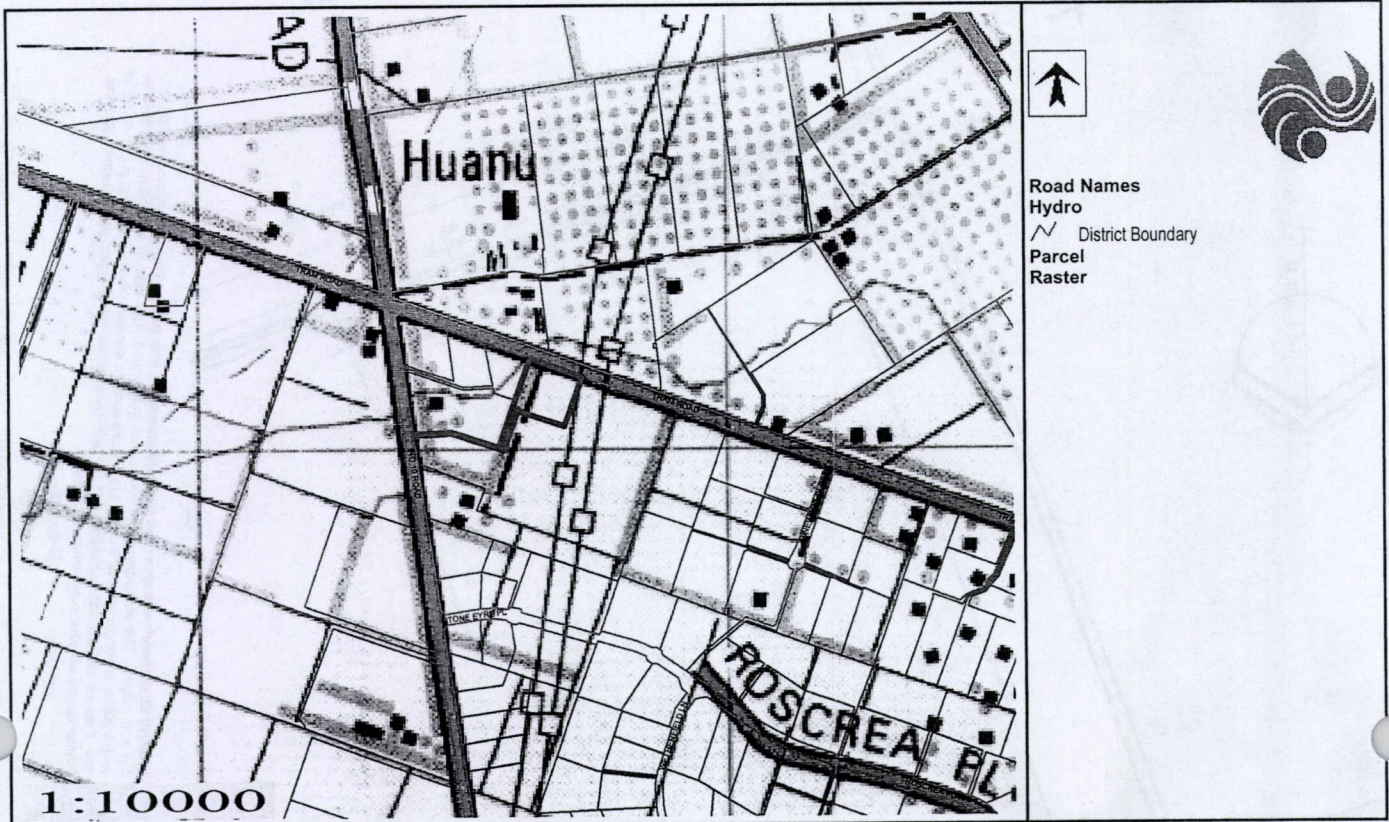
This project information memorandum is confirmation that the proposed building work may be undertaken subject to the provisions of the Building Act 1991 and any requirements of the building consent not yet approved.

Signed for and on behalf of the Council:

Name:

Date:

23/2/21



100 m

The user of the information has the responsibility to pothole and confirm the exact location of the service. When excavating in the vicinity of any Council service, the contractor will be held responsible for all damage to Council property.

The accuracy of the plan is not guaranteed. Measurements shown are subject to reasonable tolerance and have been provided from the Council records. Photocopying will alter scale measurements.

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[http://newton/emap/tools/printadvanced/print_preview_landscape.asp?Persistence=Highlight!DCDB \(SS\):Parcel_Flats_v:WHERE ID = 240...](http://newton/emap/tools/printadvanced/print_preview_landscape.asp?Persistence=Highlight!DCDB (SS):Parcel_Flats_v:WHERE ID = 240...) 23/02/04

Waimakariri District Council eMap

Page 1 of 1





56	90	58
57	91	59
55	92	57

Meters

Scale 1:7,500 (A4)

WAIMAKARIRI
DISTRICT COUNCIL

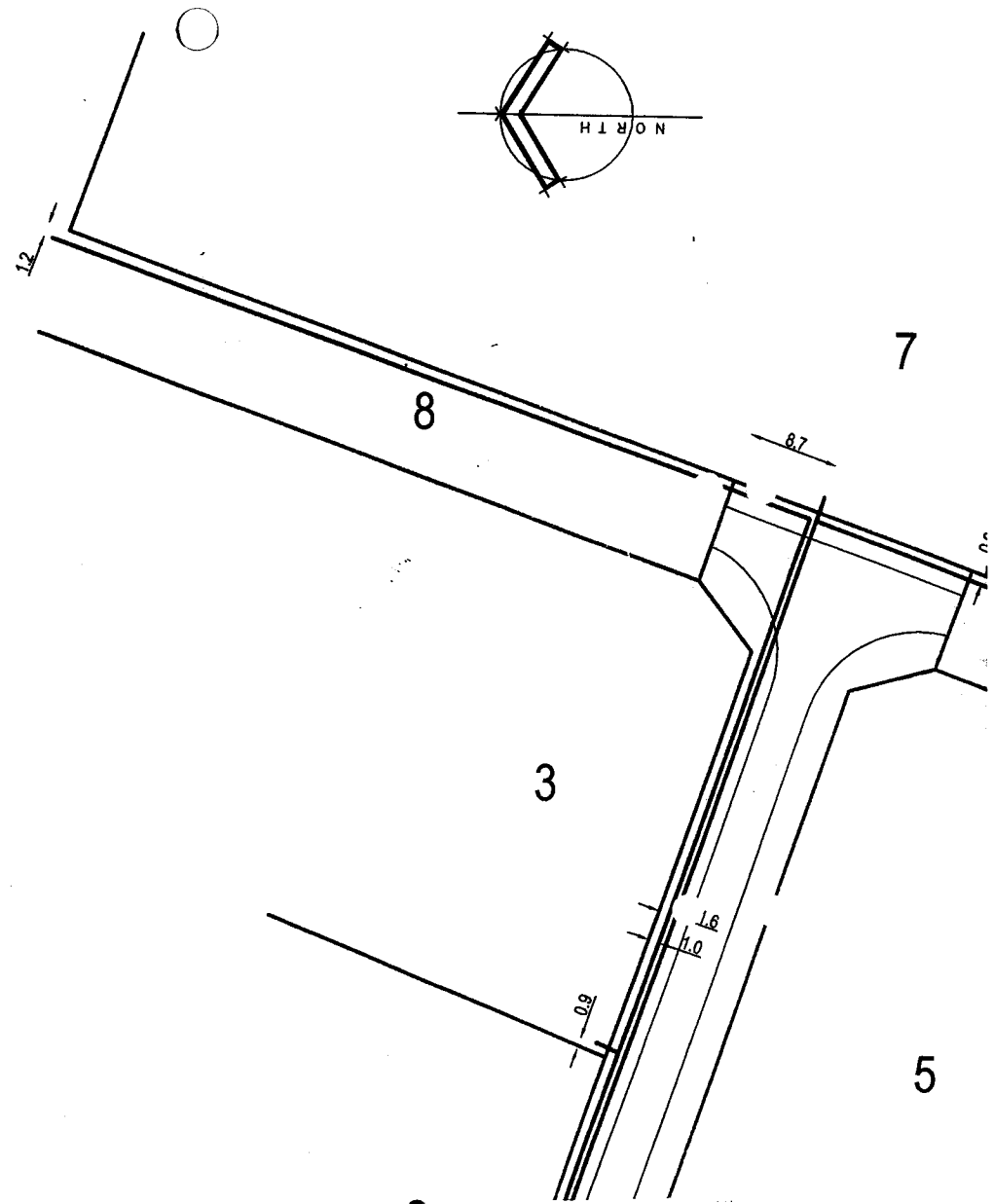
Residential 4/8

RU

Rural

Transpower High Voltage Lines

Mandeville 91



WARNING: Measurements shown are subject to reasonable tolerance and have been provided from the Council records. The accuracy of the plan is not guaranteed. The user of this information has the responsibility to pothole and confirm the exact location of the service. When excavating in the vicinity of any Council service, the contractor will be held responsible for all damage to Council property. Photocopying will alter scale measurements.

- SERVICE
- ☒ WATER
 - ☐ SEWER
 - ☐ STORMWATER

DATE: 23, 2, 24

WAIMAKARIRI DISTRICT COUNCIL

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by Coleshill Developments Ltd for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The applicants sought a resource consent for an 11 Lot residential subdivision and to erect a dwelling on Lots 2 & 3.

DECISION

The Unit Manager: Plan Administration on Tuesday, 29 July 2003 approved:

Subdivision

THAT pursuant to Section 105 of the Resource Management Act 1991 consent be granted to subdivide Lot 18 DP 73102 comprising 11.8685ha into 11 lots, ranging in size from 4040m² to 1.904ha, at 436 No 10 Road, Mandeville as a non complying activity subject to the following conditions which are imposed under Section 108 of the Act:

1. The activity shall be carried out in accordance with the attached approved application plan.

2. **Standards**

At all stages of design and construction reference shall be made to the Waimakariri District Council Engineering Code of Practice (and the latest amendments) where applicable.

3. **Easements**

All services, including open drains and access ways, serving more than one lot or traversing lots other than those being served and not situated within a public road or proposed public road, shall be protected by easements. All such easements, together with any amendments to the easements found necessary during the final engineering design, shall be granted and reserved.

4. **Power and Telephone**

The subdivider shall provide evidence in writing from the relevant service utility

providers that underground electrical and telephone service connections have been installed to lots 2-11.

5. **Design of Reticulated Services**

5.1 All water, sewer systems within the subdivision are to be separately serviced and shall be piped.

5.2 Unless specific provision is made otherwise the services to all rear lots accessed by a right of way, shall extend from the road boundary to a point one metre inside the main body of the rear lots.

6. **Plans and Specifications**

6.1 Three copies of plans and specifications of all works shall be submitted to the Council for approval prior to survey plan approval. The Council will approve complying documents in writing. Work shall not commence until the subdivider has confirmed their receipt of Council approval.

6.2 Any subsequent amendments to the plans and specifications shall be submitted to Council for approval.

7. **Supervision and Setting Out**

7.1 A practising Registered Civil Engineer or Registered Surveyor, who shall be engaged prior to commencement of any works, shall supervise all engineering works and setting out.

7.2 The Supervising Engineer/Surveyor shall supply a certificate to the Council, stating that all works have been designed in accordance with the appropriate standards and sound engineering practice.

7.3 The engineer/surveyor shall submit a programme of inspection intended to meet the requirements of this clause at the time of submitting the engineering plans and specifications.

7.4 The supervising engineer/surveyor shall supply to Council a certificate stating that all works and services associated with the subdivision have been installed in accordance with the approved plans and specifications and that the "As Built" plans are a true and accurate record of all works and services as constructed. This certificate shall be supplied at the time of requesting the Section 224c Certificate.

7.5 The Supervising Engineer/Surveyor shall forward, to the Council, copies of Site Inspection notes for all site supervision visits. These shall be forwarded within five working days of the date of that site visit.

8. **Contribution and Fees**

- 8.1 Pursuant to Section 285 of the Local Government Act 1974 the subdivider shall pay a Reserves Contribution for the lots created, calculated as follows:

Agreed Average Lot Value	\$90,000.00
Credit for reserves created	9.2 lots
Total Contribution	\$936.00

- 8.2 If this consent is completed in stages, then the reserve contribution shall be paid prior to the issue of the 224(c) Conditions Certificate for stage 2.

- 8.3 Pursuant to Section 283 of the Local Government Act 1974, the subdivider shall pay the following services upgrading capital contributions to the Council calculated as follows:

Service	No of New Connections	Contribution	Total
Water	10	\$1,139.00	\$11,390.00
Sewer	0		\$0.00
Total			\$11,390.00

9. **Water Supply**

- 9.1 The subdivider shall provide an adequate and secure domestic water supply to all proposed Lots of at least 2.0 cubic metres per day.

- 9.2 The water supply for each lot currently unserved shall be established from the Mandeville Water Supply Scheme by providing the following:

- (a) The subdivider shall connect each lot, via separate laterals, to the existing main located in Tram Road and No. 10 Road in accordance with the approved plans and specifications.
- (b) Individual Toby valves, 2 m³/day flow restrictors and valve boxes at each lot boundary, including isolating tobies at the road boundary of any service lateral supplying each rear lot.
- (c) Prior to the use of water for any purpose from the Mandeville Water Supply Scheme, the lot owner shall establish pipework, fittings and storage tanks. The tanks shall accord with the Waimakariri District Council Rural Water Supply Bylaw 1992, and shall have a minimum capacity of 4000 litres.

- 9.3 The above condition 9.2(c) is imposed in accordance with Section 221 of the Resource Management Act 1991 and a consent notice shall be registered on the title to issue for each of proposed Lots 2, 3 and 5 - 11.

- 9.4 The Council at the subdivider's expense shall carry out all connections to the existing public water supply.

10. **Sewerage**

- 10.1 The subdivider shall install all sewer reticulation to each unserved lot within the subdivision in accordance with the approved plans and specifications.

The reticulation design shall incorporate the following minimum requirements:

- (a) Mains of material, class and size to accord with the approved plans and specifications.
- (b) Provision of domestic sewer laterals to 1.0 m inside the main body of Lots 2, 3 and 5 - 11 including the installation of a valve, backflow preventer, and valve box at the boundary of each lot.

11. **Access**

- 11.1 The subdivider shall upgrade the vehicle crossing to Lot 1 to meet the requirements of Waimakariri District Council Standard Drawing 600-217 (issue c).

- 11.2 The subdivider shall form and seal the vehicle crossing to Lots 10 & 11 to meet the requirements of Waimakariri District Council Standard Drawing 600-217 (issue c).

- 11.3 The subdivider shall relocate the vehicle crossing for Lot 4 to within 10m of the proposed right of way to serve lots 2, 3, 3-8 and construct it to meet the requirements of Waimakariri District Council Standard Drawing 600-217 (issue c).

- 11.4 The subdivider shall position the vehicle crossing for Lot 9 within 10m of the proposed right of way to serve lots 10 and 11 and construct it meet the requirements of Waimakariri District Council Standard Drawing 600-217 (issue c).

- 11.5 The subdivider shall form and seal the vehicle crossing to Lots 2, 3, 5 - 8 to meet the requirements of Waimakariri District Council Standard Drawing 600-217 (issue c).

12. **Right of Way**

- 12.1 The subdivider shall construct each right of way (shown as easements A - F from No 10 Road and G-H from Tram Road on the application plan) for their full length in accordance with Waimakariri District Council Standard Drawing 600-273 issue c. Passing bays shall be provided at the required positions.

13. **Traffic Management**

The subdivider shall submit for approval a comprehensive Traffic Management Plan (*format* attached) detailing traffic control works (including sketch layout and control signs). This plan may be submitted at the time of engineering plan approval and shall be submitted prior to work commencing on or in Tram Rd and No 10 Rd. Traffic Management shall be to Level 1, as described in the

14. **Conditions Auditing**

The Council will audit compliance with the conditions of consent by both site inspections and checking of associated documentation to the extent necessary to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking. The developer, or their authorised agent, shall notify Council at least one working day prior to commencing various stages of the works. This is to enable audit inspections required by the consent to be performed. Should the developer wish the Council to accept requests for inspections from any contractors engaged, Council must receive written authorisation.

The minimum level of inspection shall be as follows:

Services

- Testing of water and sewer mains and laterals

Trenching

- Prior to backfilling of service trenches.

Entrances/ Right of Ways

On completion of excavation to sub-grade.

Following compaction of base course prior to final surfacing

Whole Works

Prior to issue of a certificate under Section 224(c) of the Resource Management Act.

Where repeat inspections are required because of faulty workmanship or work not being ready contrary to the receipt of a notification, such inspections will be carried out at the current hourly rate for staff time and vehicle running costs for kilometres travelled. Currently these rates are between \$65/hr and \$72/hr depending on the Council officer inspecting and between \$.45/km and \$0.70/km for kilometres travelled.

15. **As Built Plans**

"As Built" plans setting out in detail the location of all services shall be provided to the Council immediately following completion of the works and are to be available at the time of the Condition Certificate inspection. Two sets of plans are to be provided at appropriate scales of 1: 2000, 1:1000 and 1:500 as suitable. In addition to the plans a practising registered civil engineer or registered surveyor shall provide a separate certificate stating that the As-built plans are a true and accurate record of all services.

16. **Rights of Way**

- 16.1 The rights of way A, B, C, D, E, F, G & H are approved pursuant to Section 348 of the Local Government Act 1974.

17. **Works Conditions**

That a certificate under Section 224(c) of the Resource Management Act 1991 will not be issued until conditions 1 to 15 above have been met to the satisfaction of the Waimakariri District Council, at the expense of the subdivider.

18 **STAGING**

- 81.1 The Council is agreeable to the staging of the development of stage one being Lots 1 - 8 and stage two being Lots 9 - 11 over the time period allowable. The conditions that relate to each stage shall be complied with and the balance area shall remain a complying lot in terms of the District Plan requirements.

- 19 Pursuant to Section 125 of the Act, this consent shall not lapse for five years from the commencement of the consent

ADVICE NOTES

- The requirements and conditions listed are a statement of the Council's minimum standards. Where the subdivider proposes higher standards or more aesthetically acceptable alternatives these shall be submitted to the Council for approval.
- Should the subdivider require all Lots to have access to the water race and rights to water then the appropriate easements should be created at the time of subdivision.
- The subdivider should obtain all necessary permission to construct the accesses to Lots 9 - 11 under or near the high voltage line along Tram Rd especially in the vicinity of the pole located adjacent to the access frontage.

Land Use

THAT pursuant to Section 105 of the Resource Management Act 1991, consent be granted to erect a dwelling and extend the lapsing provision to five years on Lots 2 (4440m²) & 3 (4040m²), being a subdivision of Lot 18 DP 73102 at 436 No 10 Road, Mandeville as a non complying activity subject to the following conditions which are imposed in accordance with Section 108 of the Act:

- The structure coverage of the net area of the site shall not exceed 20%
- Any structure, other than a dwellinghouse, which does not have any doors or windows, which open onto the accessway, shall be setback 2 metres.
- Structure Height**
- 3.1 No structure shall project beyond the building envelope defined by recession

planes constructed 2.5 metres above any site boundary. The following structures are exempt;

- i support structures and utilities;
- ii lines, wires, flagpoles, antennas other than dish antennas;
- iii lightning rods, chimneys, ventilation shafts, solar heating devices, roof water tanks, lift and stair shafts; and
- iv decorative features such as steeples, towers and finials;

provided none of these has a horizontal dimension of over three metres along the line formed where the structure meets the recession plane as measured parallel to the relevant boundary.

3.2 Where the land immediately beyond the site boundary forms part of any rail corridor, drainage reserve, or accessway (whether serving the site or not), the boundary of the rail corridor, drainage reserve, or accessway furthest from the site boundary may be deemed to be the site boundary for the purpose of defining the origin of the recession plane, provided this deemed site boundary is no further than 6 metres from the site boundary.

3.3 Any structure shall not exceed a height of 10 metres.

ADVICE NOTES

- a) This consent does not constitute consent in terms of the Building Act and the Transitional Regional Plan.

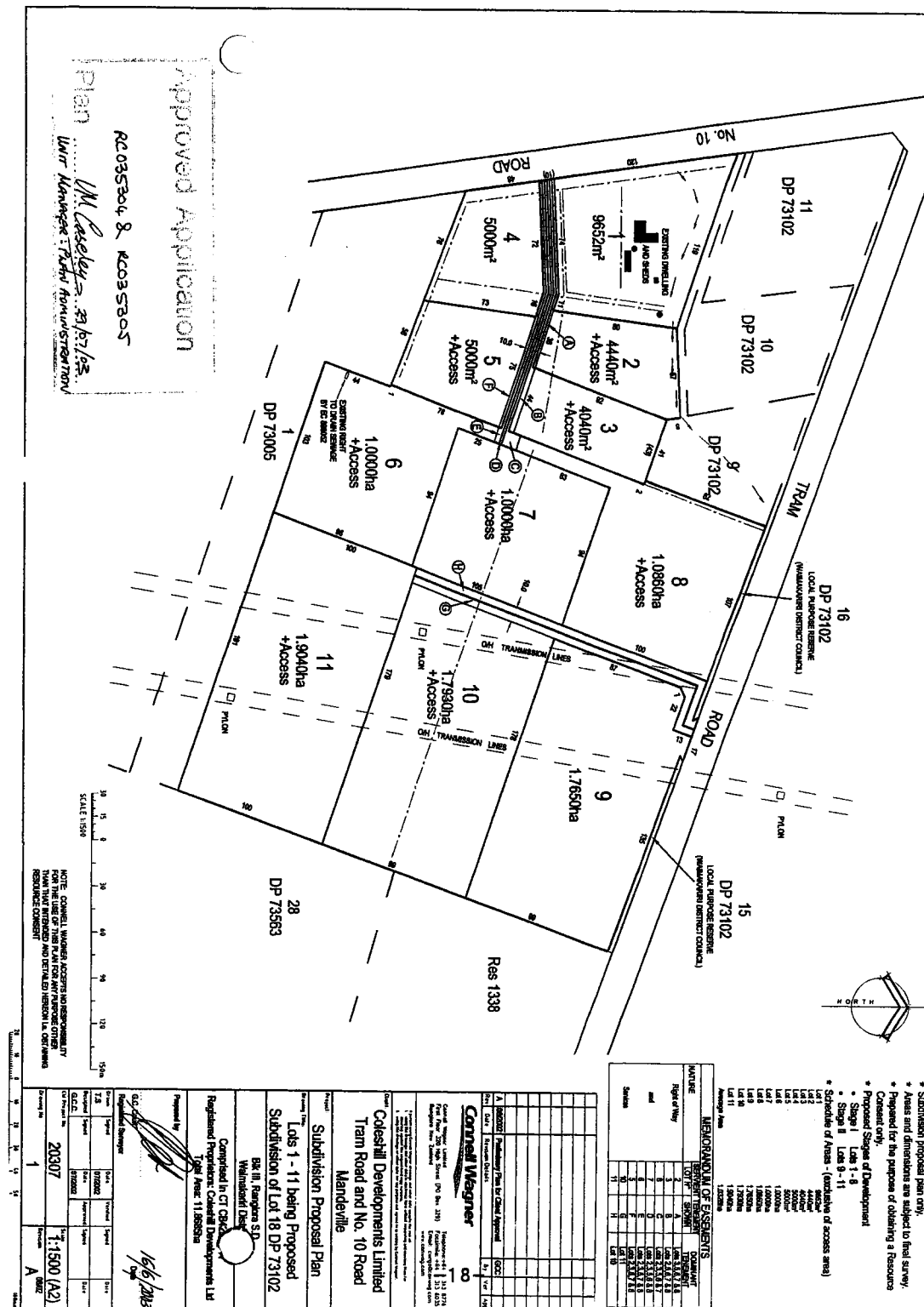
REASONS FOR THE DECISION

Pursuant to Section 113 of the Act the Council was satisfied that:

- No person is deemed to be adversely affected by the proposal.
- The effects on the environment will be no more than minor.
- The proposal is not contrary to the objectives and policies of the Proposed District Plan.

DATED at Rangiora this 29th day of July 2003

SIGNED by Raewyn Sanford
PLANNING OFFICER



Hynds Pipe Systems Limited Z5000

Ph 344-3500

Septic Tank: 5000 litre Multichamber including pump chamber, either Humes RD 5000 available from Humes Concrete

Ph 03 349-6029

McKendry Z 5000 available from McKendry Concrete Products

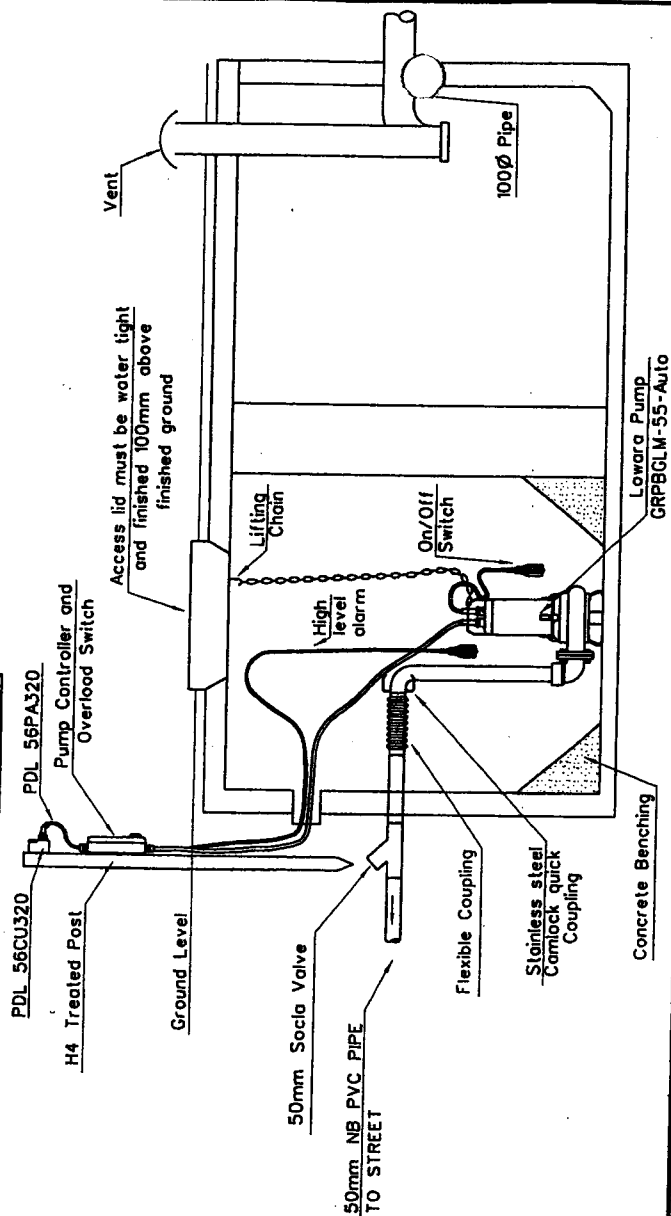
Ph 03 344-3500

Oasis Clearwater Z54, available from Oasis Clearwater Systems

PH 03 344-0262

Provide 24V DC Electronic Buzzer on House Switchboard and cable to sewer chamber, connect to the high level float switch.

The HIGH LEVEL probe or float switch must be set to operate 100mm above the NORMAL switch on position, in the event of a pump failure this should allow sufficient time for repairs.



CHECK VALVE

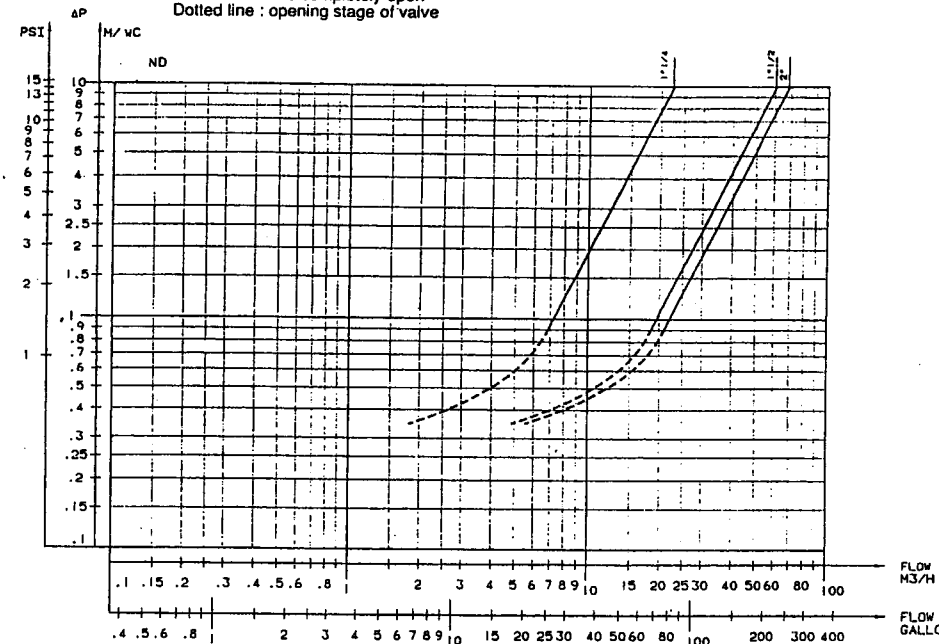
PN 6

Type 208 P

ND 1 1/4" - 2" F/F

HEADLOSS CHART

Directions for use : Solid line : valve completely open
Dotted line : opening stage of valve

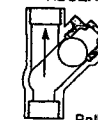


SPECIAL ADAPTATIONS OF THE 208 P

Floating ball natural rubber coated steel

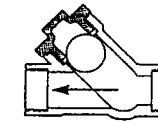
INSTALLATION

VERTICAL ASCENDING



Ball housing upside

HORIZONTAL



Position the ball housing above the axis

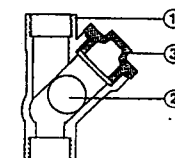
OPENING PRESSURE IN mm/H

ND	↑	→
1" 1/4	12	Opening pressure near 0
2"	10	

OTHER EXECUTIONS B SYSTEM

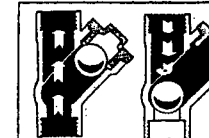
- 30 F : Floating ball
- 30 X : Stainless steel casing
- 30 Z : Bronze casing
- 50 F : Floating ball
- 50 X : Stainless steel casing
- 50 Z : Bronze casing
- 308 : Cast iron ball type + strainer
- 408 F : Floating ball
- 408 S : Ductile iron casing
- 408 X : Stainless steel casing
- 408 Z : Bronze casing

MAINTENANCE



Spare parts
• 2

See mounting and dismantling card FM 08



WAIMAKARIRI DISTRICT COUNCIL
TECHNICAL SERVICES
210 HIGH STREET
PRIVATE BAG 1005
DUNEDIN

SCALE 1:100 (A4)

SHEET TITLE
Rural Zone
Sewerage Scheme
Domestic Septic Tank
Typical Detail

PROJECT TITLE
Standard Drawings

PLAN No.
600-374

ISSUE B SHEET 374